

Woodlake

Design Guidelines

Columbia, South Carolina

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Introduction

The purpose of the Woodlake Design Guidelines and Architectural Control Committee (ACC) is to evaluate changes and improvements to properties in Woodlake. It is our goal to maintain the high-level residential development that is a hallmark of our community.

Declarations of Covenants, Conditions and Restrictions for Woodlake guide the ACC. Changes in color or material of exterior walls, roof, front door, shutters, construction of swimming pools or fences, room additions, enclosure of decks or porches, new outbuildings, hardscape, etc. must be approved by the Woodlake ACC before they can be made. In essence, if the change would be visible from the street or a neighbor's house, approval of the ACC is required.

Contact Information

For questions about the Design Guidelines or ACC, please contact the Chairman of the ACC or email WoodlakeColumbiaACC@gmail.com. The Chairman's contact information can be found in the Woodlake newsletter.

For questions regarding architectural restrictions in Woodlake, please contact the architect below:

Ed Ballard-Sholly
Edify Design, LLC
1711 Woodcreek Farms Road, Suite C, Floor 2
Elgin SC 29045

Email: ed@edify.design
Main/Mobile: (803) 736-1624

Project Fee Schedule

There are fees associated with the various types of plan review in Woodlake. These fees are due upon submittal of plans. Plans will not be accepted without a check for the appropriate review fee. The fees are as follows:

Project Classification	Project Reviewing and Approval	Fee
Awning	ACC	No Fee
Color Scheme Change	ACC	No Fee
Deck/Patio/Pergola/Gazebo	Architect Review & Comment ACC	\$100*
Driveway Modifications	Architect Review & Comment ACC	\$150*
Fence	ACC	No Fee
Gutters	ACC	No Fee
Retaining Walls/ Hardscape Sculptures	Architect Review & Comment ACC	\$150*
Home Addition	Architect Review & Comment ACC	\$200*
Tree removal	ACC	No Fee
Mailboxes	ACC	No Fee
Major Landscaping	ACC	No Fee
New Home Construction	Architect Review & Comment ACC	\$550*
Pool & Pool Deck	Architect Review & Comment ACC	\$150*
Roof Replacement	ACC	No Fee
Satellite Dish	ACC	No Fee
Solar Panels	ACC	No Fee
Well Placement for Irrigation	ACC	No Fee
Window Replacement	ACC	No Fee

- * Make checks payable to "Edify Design, LLC"

Construction Package (New Homes and Additions)

New home construction and additions in Woodlake is subject to strict architectural control. Prior to construction and any disturbance to the lot, the overall plan for construction must be approved by the Architectural Control Committee (ACC). The ACC meets every two weeks, and you will be notified of the results of the meeting. Information needed as well as certain minimum standards are outlined in this package. Plan approval is subject to a licensed builder as stated in the Woodlake Declaration of Covenants, Conditions, and Restrictions.

Listed below are the steps, procedures and contacts for new construction:

1. Builder receives from a representative of the Woodlake Architectural Control Committee, Woodlake management company, or Woodlake Architect the following items:
 - a. Application for Architectural Design Review
 - b. Architectural Control Checklist
 - c. Architectural Standard Details
 - d. Standard Fence Details - Enclosure of a Large Portion of the Back Yard
 - e. Typical Landscaping Minimum Requirements
 - f. Pages from Woodlake Covenants pertaining to new construction
2. Submissions containing the items in the Woodlake Architectural Control Checklist are to be submitted VIA CERTIFIED MAIL-RETURN RECEIPT REQUESTED. ALL ITEMS ON THE WOODLAKE ARCHITECTURAL CHECKLIST MUST BE INCLUDED BEFORE A SUBMISSION WILL BE CONSIDERED FOR APPROVAL. It is highly recommended that you use a qualified architect or draftsman for your plans.
3. Items should be delivered or mailed by certified mail to:

Ed Sholly, Edify Design, LLC
1711 Woodcreek Farms Road, Suite C, Floor 2
Elgin SC 29045

Upon submission, the ACC will advise of any changes and further steps necessary to proceed.

4. Once submitted plans are complete and acceptable, a letter of approval will be written to the owner. One copy of the submitted plans will be retained by the Woodlake ACC and/or the Woodlake Architect.
5. The owner may notify the builder and construction may begin.
6. Builder must contact the Woodlake Architect, before closing for inspection and final approval (to be noted on Woodlake Architectural Control Checklist).

Application for Architectural Design Review

Please fill out the following application, and include it in your submission to the Woodlake Architect:

Full Name: _____

Mailing Address: _____

City: _____ **State:** _____ **Zip:** _____

Home #: (____)____-____ **Cell #:** (____)____-____

Work #: (____)____-____ **Fax #:** (____)____-____

Other #: (____)____-____ **type:** _____

Email: _____

Property Address: _____

Property Lot #: _____ **Property Section #:** _____

Builder Name: _____ **Builder Phone #:** (____)____-____

Builder License #: _____

Approval Type (check all that apply):

- ☐ New Construction ☐ Addition ☐ Fence/Pool Surround ☐ Hardscaping
- ☐ Solar Panel/Green Energy Items

Exterior Colors and Materials (fill out all that apply, samples may be required):

(Please include manufacturer name, and specific type)

Brick: _____ **Roof:** _____

Stucco: _____ **Siding:** _____

Cornice and Trim: _____ **Window Sash:** _____

Other Colors: _____

I agree to follow the Woodlake Design Guidelines, Covenants and Restrictions, and By-Laws.

Signature _____

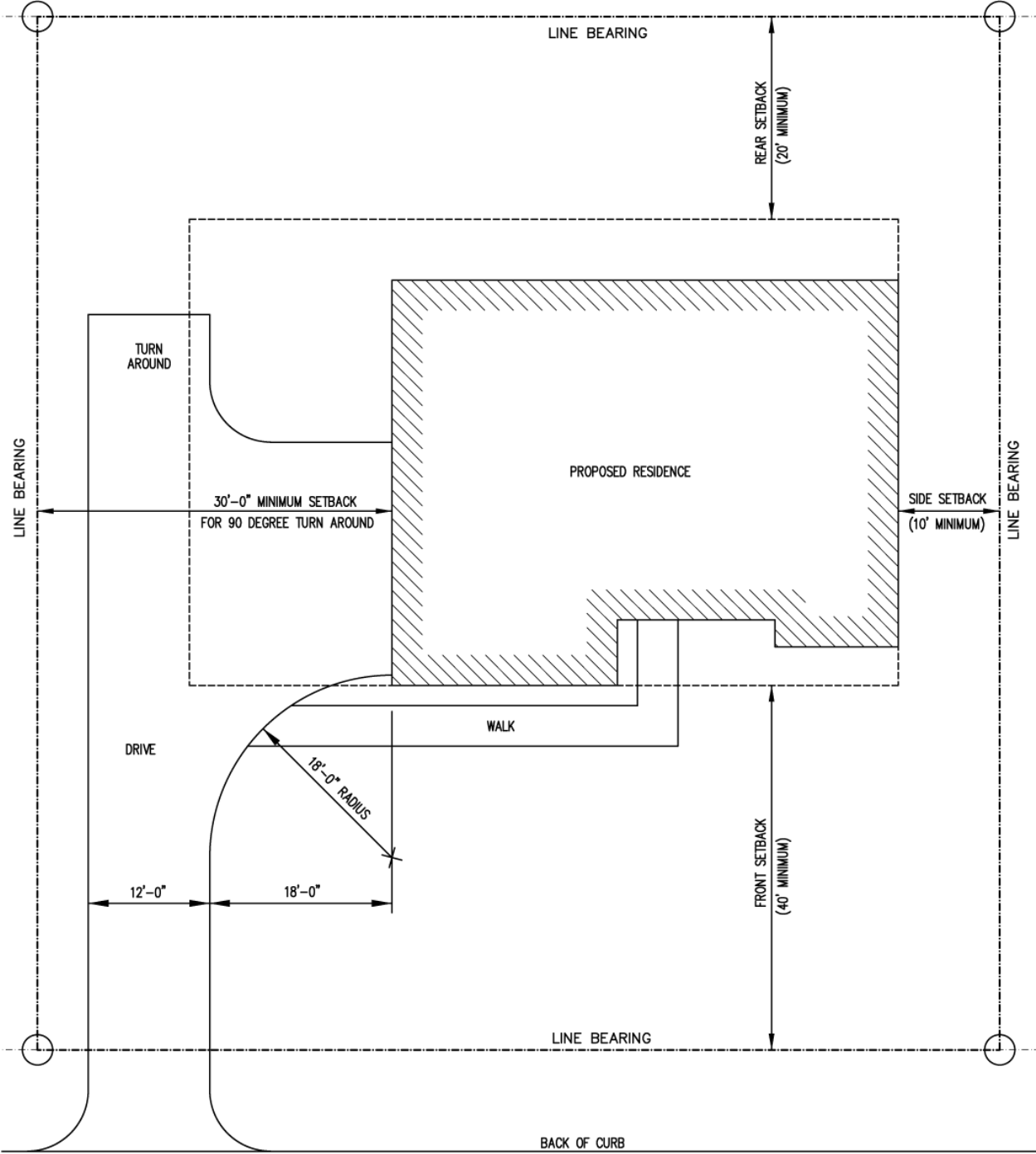
Architectural Control Checklist

Please follow this checklist when preparing plans to be submitted. Incomplete submissions will not be accepted.

- I. ☐ **Review Fee:** See Fee Schedule.
- II. ☐ **Application for Architectural Design Review:** Fill out and attach to plans.
- III. ☐ **Site Plan (1" = 20'-0" scale):** Plan is to show boundary lines of lot, easements, footprint of house, porches, decks, driveways, walks, and patios. Show front, side, and rear setbacks from structures. Indicate and dimension any required "no-clear" and natural bugger areas and depict any hardwood trees that are 8 inches in caliper and/or 3 feet in height, and any dogwood trees that are 3" in caliper and/or 3 feet in height. Indicate exterior light location and type, location of HVAC units, and trash enclosures, pools, fences, spas, and other recreational equipment.
- IV. ☐ **Floor Plans (1/4" = 1'-0" scale):** Plans are to be dimensioned working drawings for construction and are to include heated and gross square footage. Include wall, window, and door dimensions. Provide door and window schedules for exterior doors and windows.
- V. ☐ **Elevations (1/4" = 1'-0" scale):** Front, rear, and both side elevations depicting exterior design, material designations, roof, pitches, cornice details, column sizes and details, jack arches, window and door surround details, decks, terraces, and railings, and ceiling heights of each floor with appropriate dimensions and notes.
- VI. ☐ **Sections and Details (3/4" = 1'-0" scale):** Sections to show ceiling heights, rafter bearing heights to reflected height shown on submitted elevations, window header heights, elevation details, cornice details, roof jacks and pitch, etc. with appropriate dimensions and notes.
- VII. ☐ **Roof Plan (1/4" = 1'-0" scale):** Plan view of roof plan showing roof pitches, king rafters, valleys, chimneys, crickets, and materials.
- VIII. ☐ **Exterior Color Scheme:** Put this information in the Application for Architectural Design Review.

The Woodlake Architect may require additional details when it deems necessary.

LOT #



STREET NAME

TYPICAL SITE PLAN

Architectural Details, Drawings and Specifications

Exterior Facade

1. Facade shall be brick, stucco, fiber-cement, or composite cladding.
2. Vinyl or aluminum siding is not allowed.

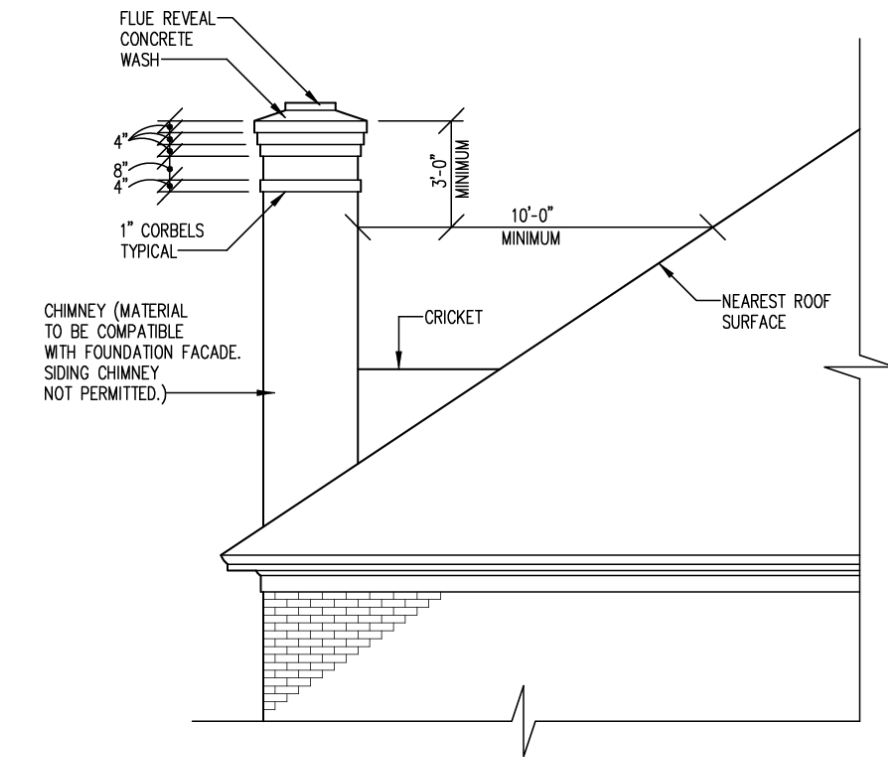
Windows

1. The developer's original design intent was for Woodlake to be a southern, traditional-styled neighborhood. In keeping with this style, all street-facing windows are to have mullions (grilles). The mullions shown in the window design details are considered the minimum standard. All window, mullion, sidelight and transom configurations are to be approved by the ACC.
2. For lower homeowner maintenance, vinyl or vinyl-clad windows are approved for new or replacement applications.

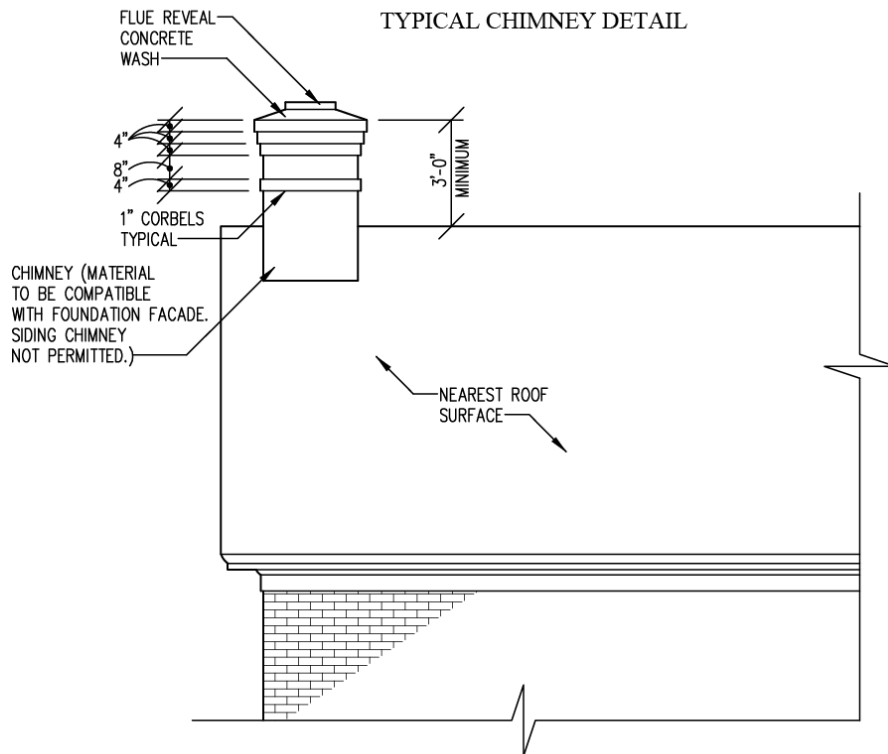
Soffits

1. Only fiber cement or composite material may be used for soffits.

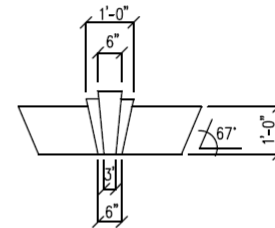
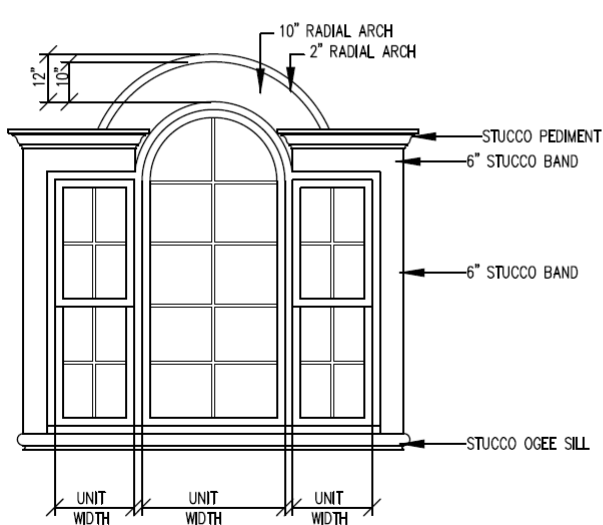
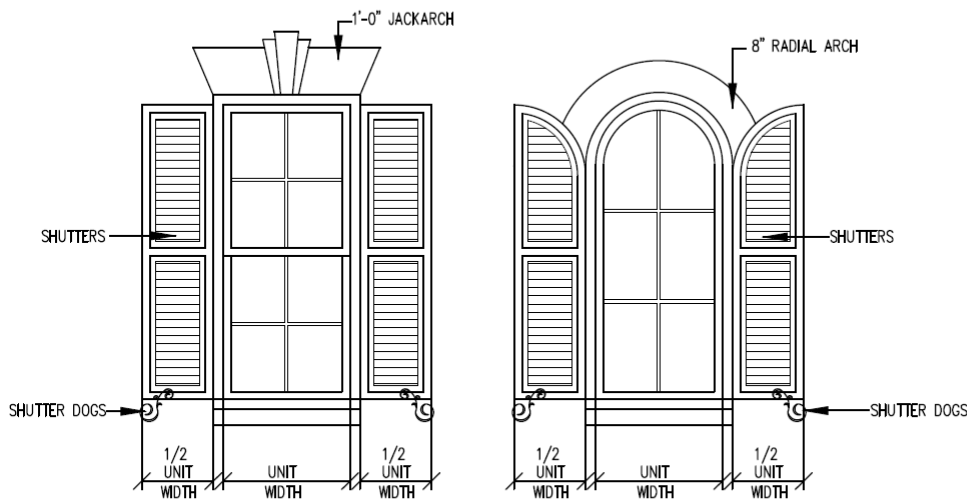
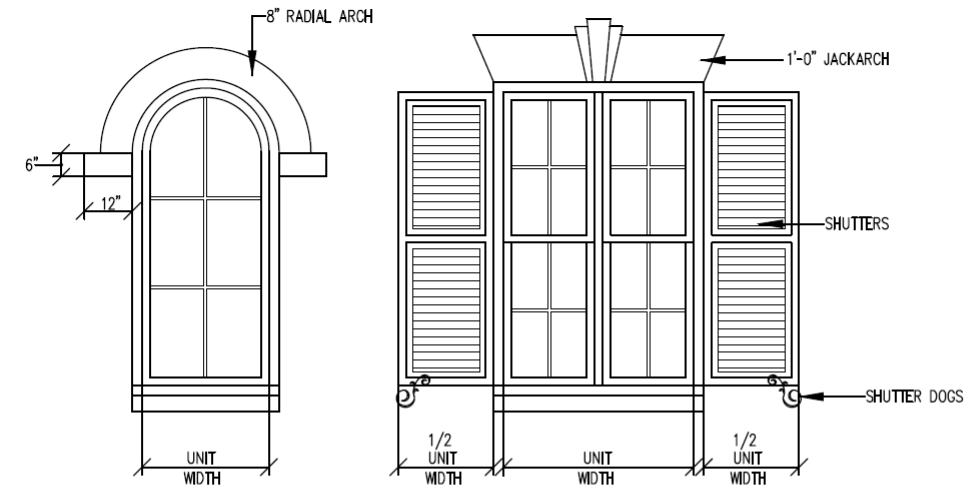
Architectural Standard Details



TYPICAL CHIMNEY DETAIL



TYPICAL CHIMNEY DETAIL

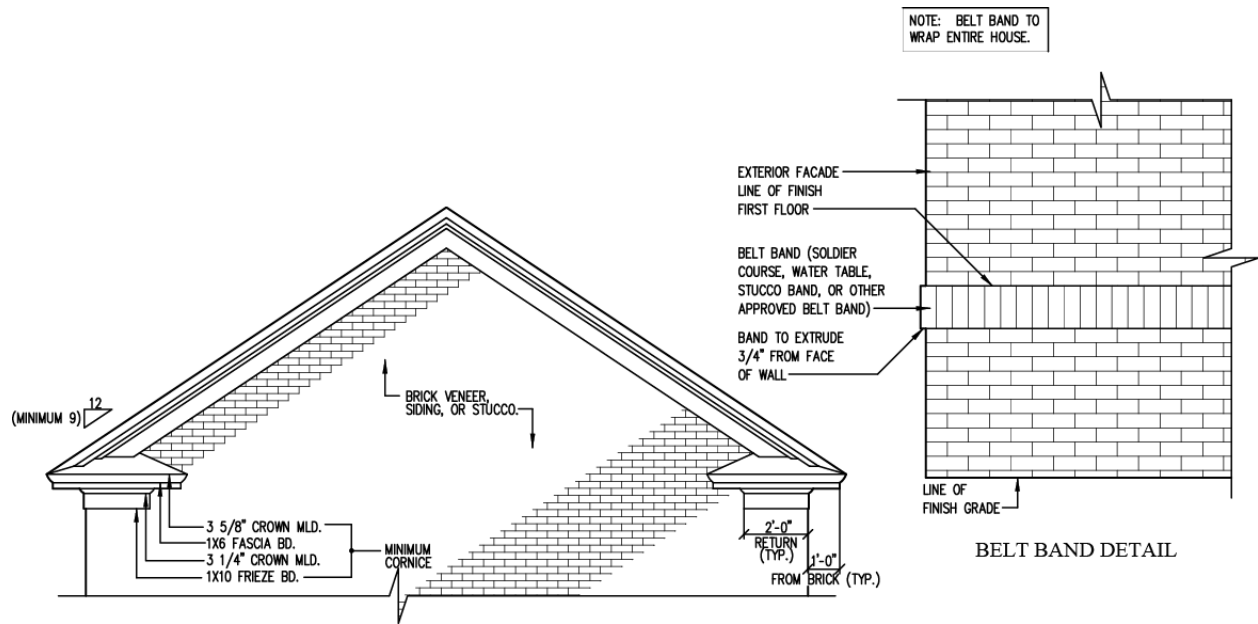


JACKARCH AND KEY DETAIL

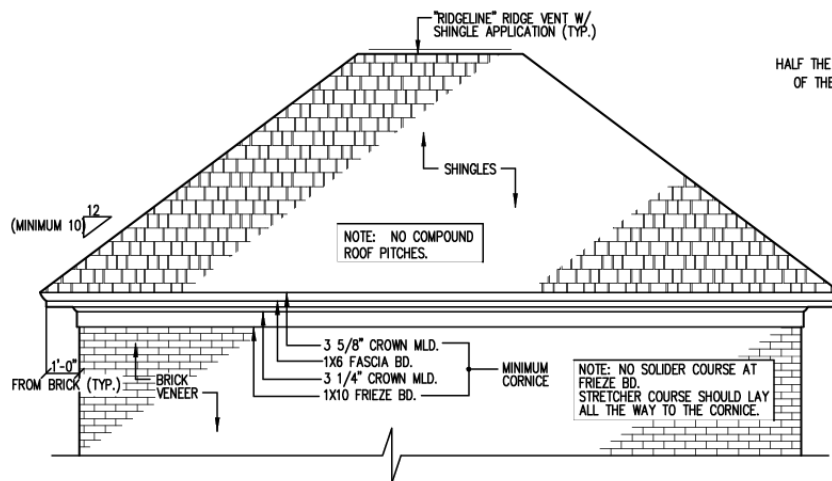
NOTES:

1. NO SHUTTERS ON TRIPLE WINDOW UNITS.
2. IF THE WINDOW HAS STUCCO BANDS DOWN THE SIDE, THE SILL MUST BE STUCCO AS WELL.
3. ALL STREET-FACING WINDOWS ARE TO HAVE MULLIONS (GRILLES). THE MULLIONS SHOWN ARE CONSIDERED THE MINIMUM STANDARD. ALL WINDOW, MULLION, SIDELIGHT AND TRANSOM CONFIGURATIONS ARE TO BE APPROVED BY THE ACC.

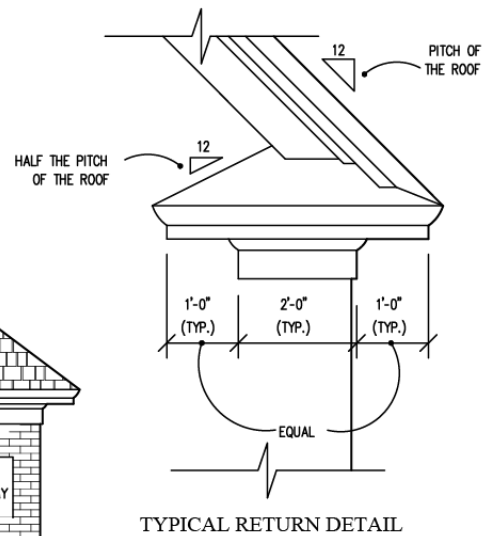
WINDOW DETAILS



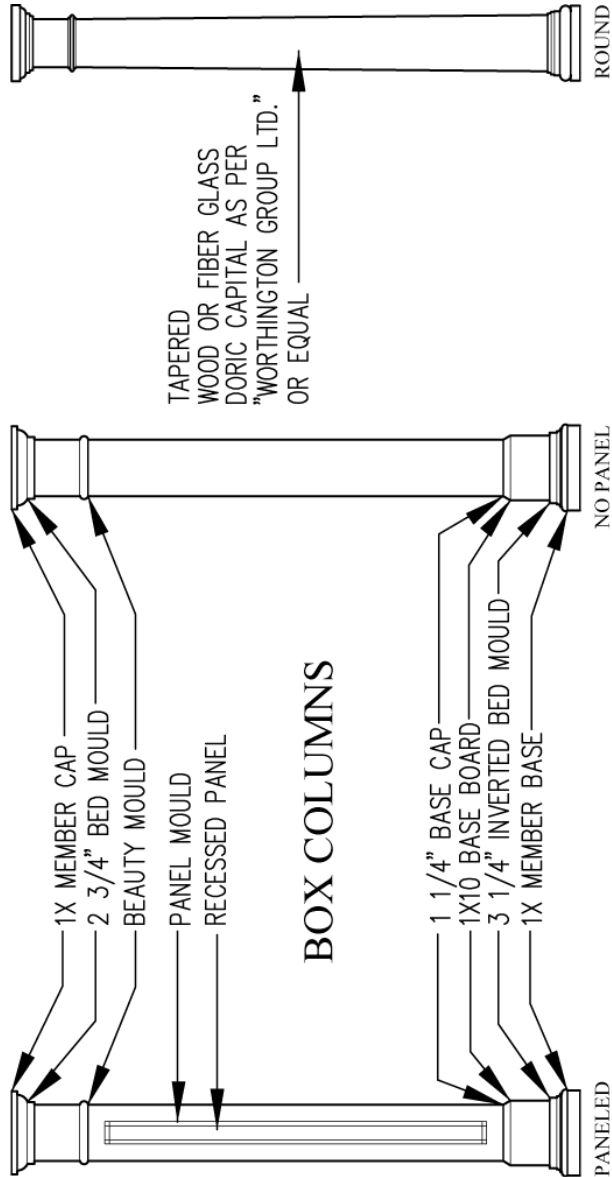
DETAIL AT GABLE ROOF
(PITCH, CORNICE, OVERHANG, ETC.)



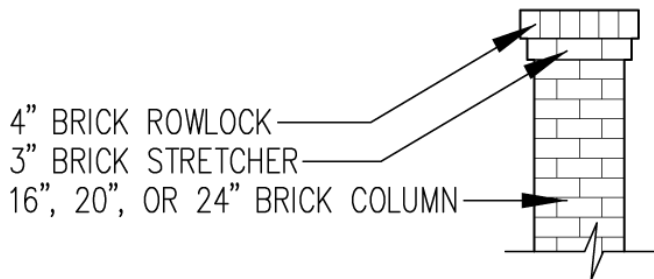
DETAIL AT HIP ROOF
(PITCH, CORNICE, OVERHANG, ETC.)



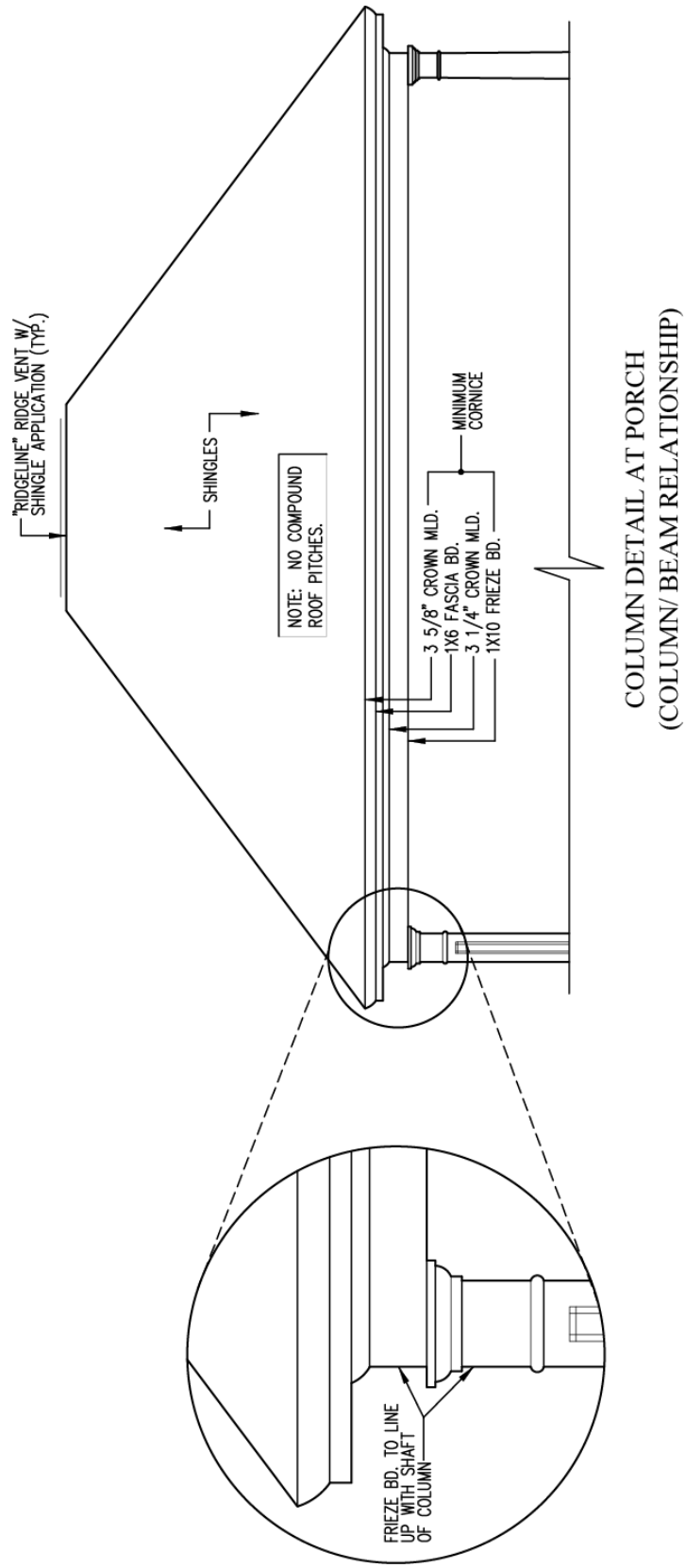
COLUMN DIAMETERS SHOULD BE PROPORTIONAL TO THEIR HEIGHT. THE DIAMETER SHOULD BE SPECIFIED ON THE PLANS. THE ARB SHALL DETERMINE APPROPRIATE DIAMETERS. MINIMUM DIAMETER IS 10".

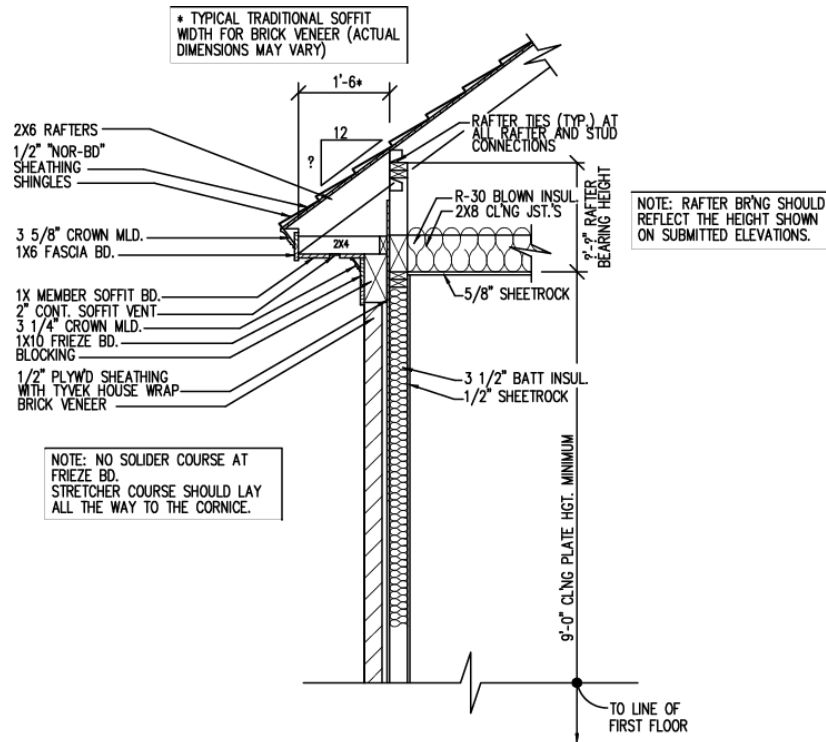


COLUMN DETAILS

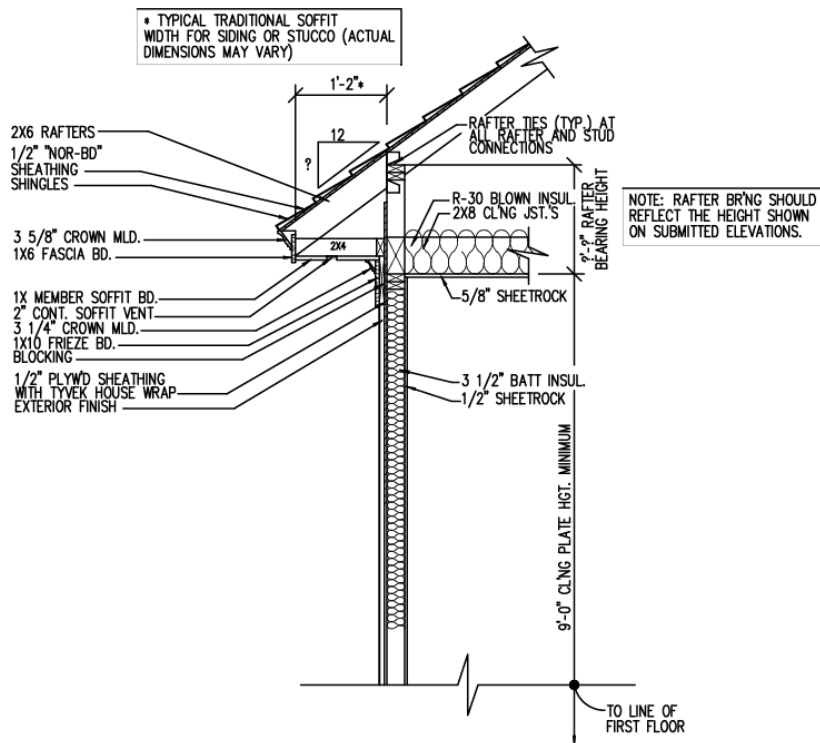


TYPICAL BRICK COLUMN





INFORMATION NEEDED ON BRICK
WALL SECTION TYPICAL



INFORMATION NEEDED ON STUCCO OR
SIDING WALL SECTION TYPICAL

Landscaping Minimum Requirements for all Homes (new and existing)

Well maintained landscaping is important to the aesthetics of the neighborhood and to home value. At a minimum, residents are encouraged to properly maintain the landscaping approved by the ACC as part of the initial site plan.

- The expectation is that tree and shrub stumps will be cut or ground to grade-level.

Landscape Criteria – Standard Lot

- A. 1 Major Hardwood tree (10'-12')
 - B. 4 Corner Plantings (3 Gal.) that are 4'-6' Evergreen.
 - C. 13 Foundation Plantings (3 Gal.) that are greater than 4' Evergreen
 - D. 1 Corner Plant (7 Gal.) that is 8'-10' Evergreen
 - E. Mulched areas to conform to the natural setting.
 - F. Front yard to be sodded, except at mulched areas.
 - G. 3 (3 Gal.) Evergreens to screen A/C unit from street.
 - H. Sod shall go to the street in all cases.
 - I. Manual/automatic irrigation to cover sodded areas but stub out for future expansion.
 - J. New homes must have an ACC-approved Landscape plan and complete installation prior to moving in.
- Sodded areas should entail $\frac{3}{4}$ of the front yard with pine straw using the remainder $\frac{1}{4}$.
 - Plantings are dependent upon architectural and topographical features.
 - Landscape contractor will make adjustments.
 - Final grade by builder's grading contractor.

Fence Requirements for all Homes (new and existing)

Woodlake Fence Requirements (Enclosing of an entire yard)

Note: There are many attractive fences in the neighborhood. There is also a wide variation in the types of fences. The previous developer may have approved some of these fences prior to the current guidelines. Our goal is to maintain the property values and curb appeal of the neighborhood as a whole. When a neighborhood has a large variation in style, material, height, and color of fencing, it can be a detriment to the appearance of the entire neighborhood, even if each fence looks good with the house it is surrounding.

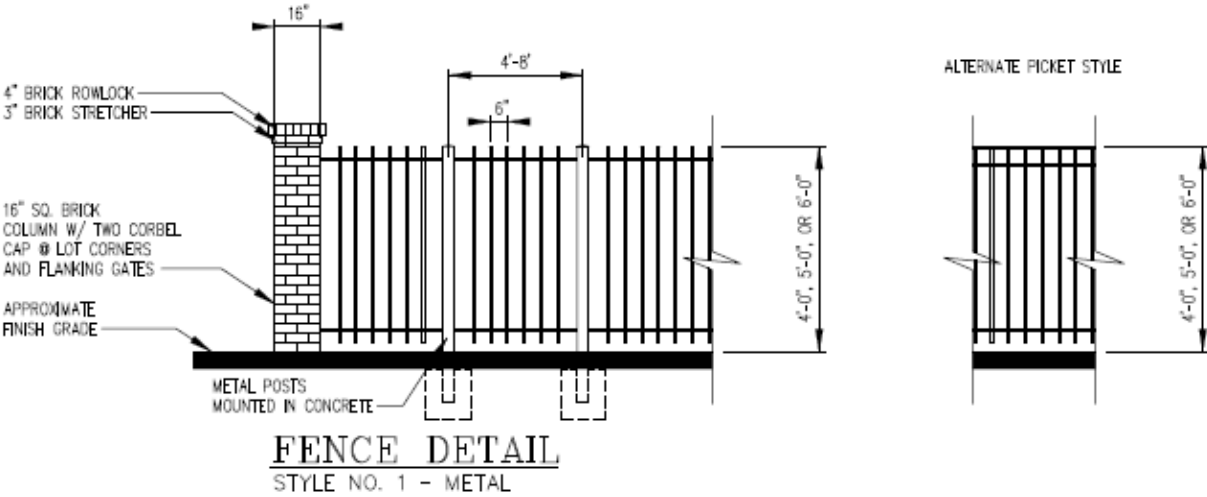
1. Homeowners with an existing fence "grandfathered" prior to the 2001 Guideline change will not be required to replace their fence, however, acceptance of this fence is void if the fence needs repair or to be replaced. In that case, the fence will have to conform to the current guidelines.
2. Chain link, vinyl and picket fences are prohibited in Woodlake.

3. ALL fences, even those styles pre-approved, must be submitted to the ACC for approval before construction. If you are attaching a fence to an adjoining neighbor's property you must have their signature of approval to do so.
4. A plat denoting the placement of the fence and the style of fence chosen shall be submitted to the architectural control committee for approval. Columns, gates, a description of the materials to be used, and the style of fence chosen must also be submitted with the plat drawings.
5. See the attached drawings of fence designs that have been pre-approved for Woodlake. The owner is to select only one style of the fences shown.
6. All wood fencing is to be treated wood, is to present the "finished" side to the street and neighbors, and is to be natural or stained. If the fence is stained it must be earth-tone in color. A sample of the color must be submitted with the application for ACC approval. Perimeter wood privacy fencing must be 6 feet in height.
7. Wrought iron, steel or aluminum fencing is allowed based on the following fence drawings. All must be black or painted black. Metal fencing may be 4, 5 or 6 feet in height. If a metal perimeter fence encloses a pool, the minimum height is 5 feet.
8. Alternative material providing a "wood-like appearance", such as the Enduris Endwood or Fiberon privacy fencing will be considered on an individual basis. These products are engineered to withstand the sun, wind, rain, and snow and are not vinyl fences. The appearance of these fences meets the currently approved wood fence design while offering increased longevity and lower maintenance. See the photos of the approved designs below. Any other "new technology" fence must be similar to these types of fences and approved by the ACC. They must have a "wood-grain" finish, earth-tone natural wood color, and vertical pickets (dogeared or straight).
9. 16"x16" minimum columns with two or three corbels shall be positioned on each corner of the lot. The columns must match the house foundation (brick, stone, or stucco) and must also be placed on both sides of any gate facing the street.
10. Approved metal gates may be used with wood privacy fences.
11. Landscaping will be required on the exterior portion of the fence when visible from the street or lake.
12. The owner accepts all responsibility for the maintenance of the fence and landscaping.

Pool Surround Fences

1. All pool fencing must comply with Richland County Code requirements.
2. A plat denoting the placement of the fence shall be submitted to the ACC for approval.

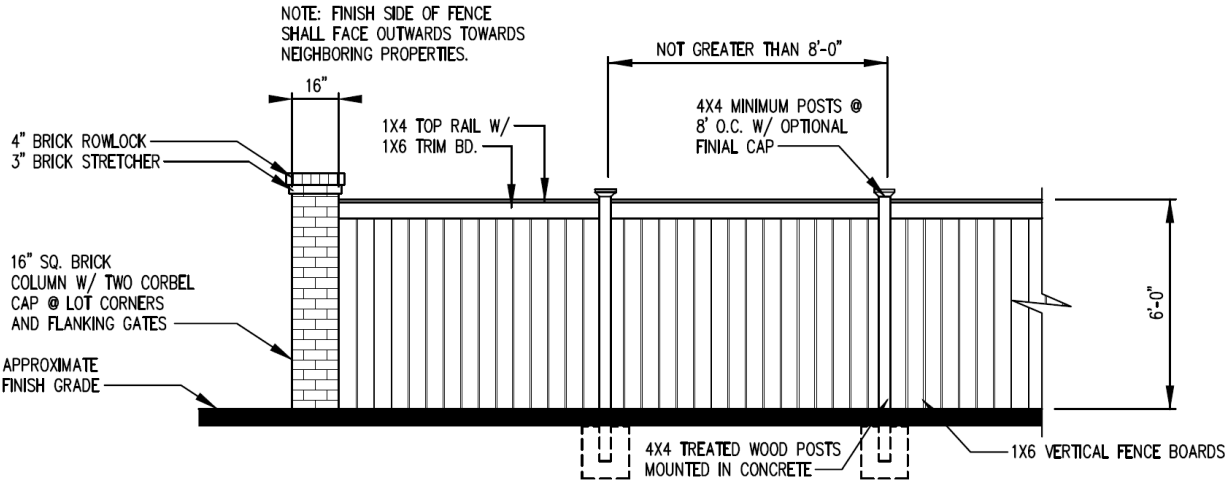
Acceptable Metal Fence Designs



STYLE 1 Examples

 <p>Typical Metal Fence</p>	 <p>Alternate Picket Style</p>
 <p>Alternate Picket Style</p>	 <p>Typical Alternate Picket Style Gate</p>

Acceptable Wooden Privacy Fences



FENCE DETAIL
STYLE NO. 2 - CHARLESTON STYLE

STYLE 2 – Charleston-Style Fence Examples



Charleston-Style Fence (4'-8' sections, finished side facing outward, shown with optional finial caps)

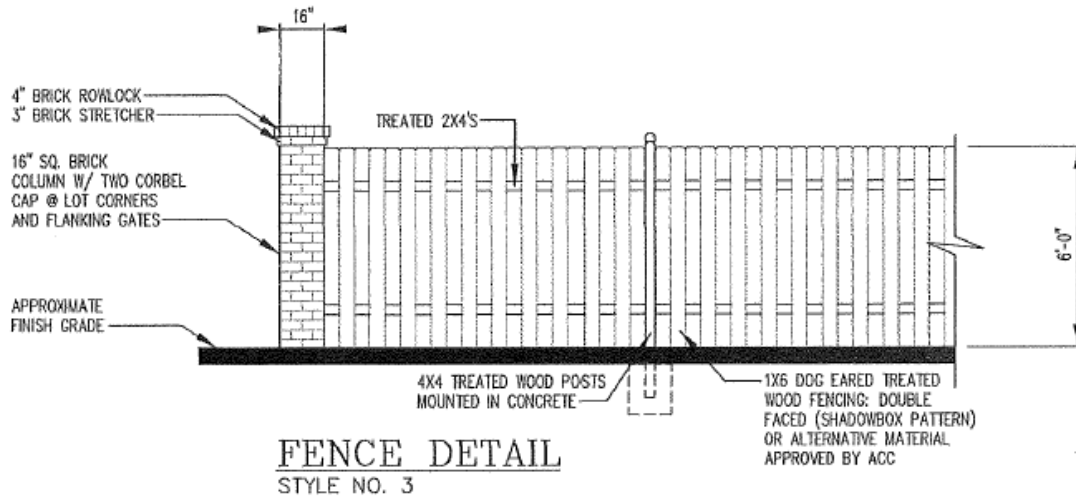


Charleston-Style Fence (4'-8' sections, unfinished side facing inward, shown with optional finial caps)



Typical Charleston-style Fence Gate (finished side facing outward)

Acceptable Wooden Privacy Fences (continued)



STYLE 3 – Examples

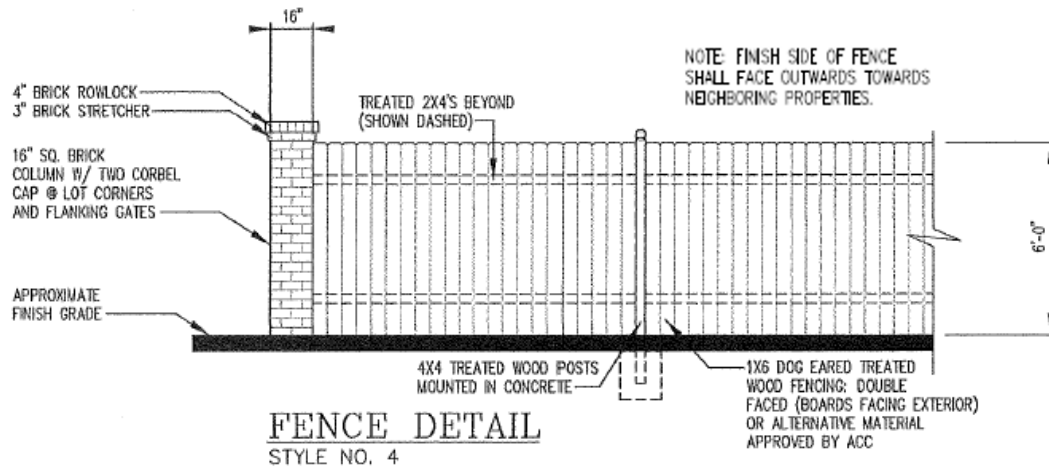


Typical Wide Gate



Typical Narrow Gate

Acceptable Wooden Privacy Fences (continued)



STYLE 4 – Examples



Finished-side facing outward



Unfinished side facing inward



Typical Gates

Acceptable Alternate Material Privacy Fences

Choose the style and color that complement

Endwood® Fencing is a composite system that can be configured in a variety of styles and designs to fit almost any application. Two large posts are available in several picket, rail, and post-and-rail styles. Endwood can be configured in a variety of picket layouts, with a picket height up to 8 feet. Endwood privacy fence design styles – Double Picket, Privacy, Double Rail, and Composite – will give you an endwood system that's the way to create the fence that best suits your style.

Private Fence Styles to Consider

Endwood's unique post options allow flexibility for your fence design. Premium Post Options allow a new extended privacy picket installed on existing post ends. Endwood also offers 4" x 4" Post Options for a composite system. Endwood's 8" x 8" Post Option allows a composite system to be installed on an existing 4" x 4" post.

fiberon® PRIVACY FENCING

Fiberon® Privacy Fencing

- 6-ft privacy fencing system with Double or Square Top pickets and composite privacy design
- Fiberon's composite picket design
- Long lasting resistance to decay and rot
- Adjustable Steel Gate Frame System available

Basic Picket Layout Privacy Options

Double Pickets Square Top Pickets

Traditional (Double Picket)

Shadow Box (Double Picket with a composite picket in the middle)

Steel Gate Frame System

8' x 10' (4' x 6')

8' x 12' (4' x 8')

8' x 14' (4' x 10')

8' x 16' (4' x 12')

8' x 18' (4' x 14')

8' x 20' (4' x 16')

8' x 22' (4' x 18')

8' x 24' (4' x 20')

8' x 26' (4' x 22')

8' x 28' (4' x 24')

8' x 30' (4' x 26')

8' x 32' (4' x 28')

8' x 34' (4' x 30')

8' x 36' (4' x 32')

8' x 38' (4' x 34')

8' x 40' (4' x 36')

8' x 42' (4' x 38')

8' x 44' (4' x 40')

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8' x 342' (4' x 338')

8' x 344' (4' x 340')

8' x 346' (4' x 342')

8' x 348' (4' x 344')

8' x 350' (4' x 346')

8' x 352' (4' x 348')

8' x 354' (4' x 350')

8' x 356' (4' x 352')

8' x 358' (4' x 354')

8' x 360' (4' x 356')

8' x 362' (4' x 358')

8' x 364' (4' x 360')

8' x 366' (4' x 362')

8' x 368' (4' x 364')

8' x 370' (4' x 366')

8' x 372' (4' x 368')

8' x 374' (4' x 370')

8' x 376' (4' x 372')

8' x 378' (4' x 374')

8' x 380' (4' x 376')

8' x 382' (4' x 378')

8' x 384' (4' x 380')

8' x 386' (4' x 382')

8' x 388' (4' x 384')

8' x 390' (4' x 386')

8' x 392' (4' x 388')

8' x 394' (4' x 390')

8' x 396' (4' x 392')

8' x 398' (4' x 394')

8' x 400' (4' x 396')

8' x 402' (4' x 398')

8' x 404' (4' x 400')

8' x 406' (4' x 402')

8' x 408' (4' x 404')

8' x 410' (4' x 406')

8' x 412' (4' x 408')

8' x 414' (4' x 410')

8' x 416' (4' x 412')

8' x 418' (4' x 414')

8' x 420' (4' x 416')

8' x 422' (4' x 418')

8' x 424' (4' x 420')

8' x 426' (4' x 422')

8' x 428' (4' x 424')

8' x 430' (4' x 426')

8' x 432' (4' x 428')

8' x 434' (4' x 430')

8' x 436' (4' x 432')

8' x 438' (4' x 434')

8' x 440' (4' x 436')

8' x 442' (4' x 438')

8' x 444' (4' x 440')

8' x 446' (4' x 442')

8' x 448' (4' x 444')

8' x 450' (4' x 446')

8' x 452' (4' x 448')

8' x 454' (4' x 450')

8' x 456' (4' x 452')

8' x 458' (4' x 454')

8' x 460' (4' x 456')

8' x 462' (4' x 458')

8' x 464' (4' x 460')

8' x 466' (4' x 462')

8' x 468' (4' x 464')

8' x 470' (4' x 466')

8' x 472' (4' x 468')

8' x 474' (4' x 470')

8' x 476' (4' x 472')

8' x 478' (4' x 474')

8' x 480' (4' x 476')

8' x 482' (4' x 478')

8' x 484' (4' x 480')

8' x 486' (4' x 482')

8' x 488' (4' x 484')

8' x 490' (4' x 486')

8' x 492' (4' x 488')

8' x 494' (4' x 490')

8' x 496' (4' x 492')

8' x 498' (4' x 494')

8' x 500' (4' x 496')

8' x 502' (4' x 498')

8' x 504' (4' x 500')

8' x 506' (4' x 502')

8' x 508' (4' x 504')

8' x 510' (4' x 506')

8' x 512' (4' x 508')

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8' x 520' (4' x 516')

8' x 522' (4' x 518')

8' x 524' (4' x 520')

8' x 526' (4' x 522')

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8' x 546' (4' x 542')

8' x 548' (4' x 544')

8' x 550' (4' x 546')

8' x 552' (4' x 548')

8' x 554' (4' x 550')

8' x 556' (4' x 552')

8' x 558' (4' x 554')

8' x 560' (4' x 556')

8' x 562' (4' x 558')

8' x 564' (4' x 560')

8' x 566' (4' x 562')

8' x 568' (4' x 564')

8' x 570' (4' x 566')

8' x 572' (4' x 568')

8' x 574' (4' x 570')

8' x 576' (4' x 572')

8' x 578' (4' x 574')

8' x 580' (4' x 576')

8' x 582' (4' x 578')

8' x 584' (4' x 580')

8' x 586' (4' x 582')

8' x 588' (4' x 584')

8' x 590' (4' x 586')

8' x 592' (4' x 588')

8' x 594' (4' x 590')

8' x 596' (4' x 592')

8' x 598' (4' x 594')

8' x 600' (4' x 596')

8' x 602' (4' x 598')

8' x 604' (4' x 600')

8' x 606' (4' x 602')

8' x 608' (4' x 604')

8' x 610' (4' x 606')

8' x 612' (4' x 608')

8' x 614' (4' x 610')

8' x 616' (4' x 612')

8' x 618' (4' x 614')

8' x 620' (4' x 616')

8' x 622' (4' x 618')

8' x 624' (4' x 620')

8' x 626' (4' x 622')

8' x 628' (4' x 624')

8' x 630' (4' x 626')

8' x 632' (4' x 628')

8' x 634' (4' x 630')

8' x 636' (4' x 632')

8' x 638' (4' x 634')

8' x 640' (4' x 636')

8' x 642' (4' x 638')

8' x 644' (4' x 640')

8' x 646' (4' x 642')

8' x 648' (4' x 644')

8' x 650' (4' x 646')

8' x 652' (4' x 648')

8' x 654' (4' x 650')

8' x 656' (4' x 652')

8' x 658' (4' x 654')

8' x 660' (4' x 656')

8' x 662' (4' x 658')

8' x 664' (4' x 660')

8' x 666' (4' x 662')

8' x 668' (4' x 664')

8' x 670' (4' x 666')

8' x 672' (4' x 668')

8' x 674' (4' x 670')

8' x 676' (4' x 672')

8' x 678' (4' x 674')

8' x 680' (4' x 676')

8' x 682' (4' x 678')

8' x 684' (4' x 680')

8' x 686' (4' x 682')

8' x 688' (4' x 684')

8' x 690' (4' x 686')

8' x 692' (4' x 688')

8' x 694' (4' x 690')

8' x 696' (4' x 692')

8' x 698' (4' x 694')

8' x 700' (4' x 696')

8' x 702' (4' x 698')

8' x 704' (4' x 700')

8' x 706' (4' x 702')

8' x 708' (4' x 704')

8' x 710' (4' x 706')

8' x 712' (4' x 708')

8' x 714' (4' x 710')

8' x 716' (4' x 712')

8' x 718' (4' x 714')

8' x 720' (4' x 716')

8' x 722' (4' x 718')

8' x 724' (4' x 720')

8' x 726' (4' x 722')

8' x 728' (4' x 724')

8' x 730' (4' x 726')

8' x 732' (4' x 728')

8' x 734' (4' x 730')

8' x 736' (4' x 732')

8' x 738' (4' x 734')

8' x 740' (4' x 736')

8' x 742' (4' x 738')

8' x 744' (4' x 740')

8' x 746' (4' x 742')

8' x 748' (4' x 744')

8' x 750' (4' x 746')

8' x 752' (4' x 748')

8' x 754' (4' x 750')

8' x 756' (4' x 752')

8' x 758' (4' x 754')

8' x 760' (4' x 756')

8' x 762' (4' x 758')

8' x 764' (4' x 760')

8' x 766' (4' x 762')

8' x 768' (4' x 764')

8' x 770' (4' x 766')

8' x 772' (4' x 768')

8' x 774' (4' x 770')

8' x 776' (4' x 772')

8' x 778' (4' x 774')

8' x 780' (4' x 776')

8' x 782' (4' x 778')

8' x 784' (4' x 780')

8' x 786' (4' x 782')

8' x 788' (4' x 784')

8' x 790' (4' x 786')

8' x 792' (4' x 788')

8' x 794' (4' x 790')

8' x 796' (4' x 792')

8' x 798' (4' x 794')

8' x 800' (4' x 796')

8' x 802' (4' x 798')

8' x 804' (4' x 800')

8' x 806' (4' x 802')

8' x 808' (4' x 804')

8' x 810' (4' x 806')

8' x 812' (4' x 808')

8' x 814' (4' x 810')

8' x 816' (4' x 812')

8' x 818' (4' x 814')

8' x 820' (4' x 816')

8' x 822' (4' x 818')

8' x 824' (4' x 820')

8' x 826' (4' x 822')

8' x 828' (4' x 824')

8' x 830' (4' x 826')

8' x 832' (4' x 828')

8' x 834' (4' x 830')

8' x 836' (4' x 832')

8' x 838' (4' x 834')

8' x 840' (4' x 836')

8' x 842' (4' x 838')

8' x 844' (4' x 840')

8' x 846' (4' x 842')

8' x 848' (4' x 844')

8' x 850' (4' x 846')

8' x 852' (4' x 848')

8' x 854' (4' x 850')

8' x 856' (4' x 852')

8' x 858' (4' x 854')

8' x 860' (4' x 856')

8' x 862' (4' x 858')

8' x 864' (4' x 860')

8' x 866' (4' x 862')

8' x 868' (4' x 864')

8' x 870' (4' x 866')

8' x 872' (4' x 868')

8' x 874' (4' x 870')

8' x 876' (4' x 872')

8' x 878' (4' x 874')

8' x 880' (4' x 876')

8' x 882' (4' x 878')

8' x 884' (4' x 880')

8' x 886' (4' x 882')

8' x 888' (4' x 884')

8' x 890' (4' x 886')

8' x 892' (4' x 888')

8' x 894' (4' x 890')

8' x 896' (4' x 892')

8' x 898' (4' x 894')

8' x 900' (4' x 896')

8' x 902' (4' x 898')

8' x 904' (4' x 900')

8' x 906' (4' x 902')

8' x 908' (4' x 904')

8' x 910' (4' x 906')

8' x 912' (4' x 908')

8' x 914' (4' x 910')

8' x 916' (4' x 912')

8' x 918' (4' x 914')

8' x 920' (4' x 916')

8' x 922' (4' x 918')

8' x 924' (4' x 920')

8' x 926' (4' x 922')

8' x 928' (4' x 924')

8' x 930' (4' x 926')

8' x 932' (4' x 928')

8' x 934' (4' x 930')

8' x 936' (4' x 932')

8' x 938' (4' x 934')

8' x 940' (4' x 936')

8' x 942' (4' x 938')

8' x 944' (4' x 940')

8' x 946' (4' x 942')

8' x 948' (4' x 944')

8' x 950' (4' x 946')

8' x 952' (4' x 948')

8' x 954' (4' x 950')

8' x 956' (4' x 952')

8' x 958' (4' x 954')

8' x 960' (4' x 956')

8' x 962' (4' x 958')

8' x 964' (4' x 960')

8' x 966' (4' x 962')

8' x 968' (4' x 964')

8' x 970' (4' x 966')

8' x 972' (4' x 968')

8' x 974' (4' x 970')

8' x 976' (4' x 972')

8' x 978' (4' x 974')

8' x 980' (4' x 976')

8' x 982' (4' x 978')

8' x 984' (4' x 980')

8' x 986' (4' x 982')

8' x 988' (4' x 984')

8' x 990' (4' x 986')

8' x 992' (4' x 988')

8' x 994' (4' x 990')

8' x 996' (4' x 992')

8' x 998' (4' x 994')

8' x 1000' (4' x 996')

8' x 1002' (4' x 998')

8' x 1004' (4' x 1000')

8' x 1006' (4' x 1002')

8' x 1008' (4' x 1004')

8' x 1010' (4' x 1006')

8' x 1012' (4' x 1008')

8' x 1014' (4' x 1010')

8' x 1016' (4' x 1012')

8' x 1018' (4' x 1014')

8' x 1020' (4' x 1016')

8' x 1022' (4' x 1018')

8' x 1024' (4' x 1020')

8' x 1026' (4' x 1022')

8' x 1028' (4' x 1024')

8' x 1030' (4' x 1026')

8' x 1032' (4' x 1028')

8' x 1034' (4' x 1030')

8' x 1036' (4' x 1032')

8' x 1038' (4' x 1034')

8' x 1040' (4' x 1036')

8' x 1042' (4' x 1038')

8' x 1044' (4' x 1040')

8' x 1046' (4' x 1042')

8' x 1048' (4' x 1044')

8' x 1050' (4' x 1046')

8' x 1052' (4' x 1048')

8' x 1054' (4' x 1050')

8' x 1056' (4' x 1052')

8' x 1058' (4' x 1054')

8' x 1060' (4' x 1056')

8' x 1062' (4' x 1058')

8' x 1064' (4' x 1060')

8' x 1066' (4' x 1062')

8' x 1068' (4' x 1064')

8' x 1070' (4' x 1066')

8' x 1072' (4' x 1068')

8' x 1074' (4' x 1070')

8' x 1076' (4' x 1072')

8' x 1078' (4' x 1074')

8' x 1080' (4' x 1076')

8' x 1082' (4' x 1078')

8' x 1084' (4' x 1080')

Other Requirements (Satellite Dishes and Solar Panels)

1. Satellite Dish Antenna. All satellite dishes should be mounted so that they are not visible from the front street if possible.
2. Solar Panels. Solar panels must be placed on the backside of homes and shielded from view from the street and from other lots to the maximum extent possible. When submitting the ACC Major Review Form, the homeowner will be required to submit a plat with the actual footprint of the house, including the proposed positioning of the solar panels. The plat should be a scaled drawing of the home, showing the roofline and position of the road(s) and adjoining lots.

If any trees will need to be removed for the installation, that change will require a separate Minor ACC Review form.

Any solar panel installation, whether purchased or leased, must have prior approval in writing by the ACC.