



# Woodlake

## Design Guidelines

Columbia, South Carolina

### WOODLAKE DESIGN GUIDELINES

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The purpose of the Woodlake Design Guidelines and Architectural Control Committee (ACC) is to evaluate changes and improvements to properties in Woodlake. It is our goal to maintain the high-level residential development that is a hallmark of our community.

Declarations of Covenants, Conditions and Restrictions for Woodlake guide the ACC. Changes in color or material of exterior walls, roof, front door, shutters, construction of swimming pools or fences, room additions, enclosure of decks or porches, new outbuildings, hardscape, etc. must be approved by the Woodlake ACC before they can be made. In essence, if the change would be visible from the street or a neighbor's house, approval of the ACC is required.

### **Contact Information**

For questions about the Design Guidelines or ACC, please contact the Chairman of the ACC. The Chairman's information can be found in the Woodlake newsletter.

For technical questions or concerns regarding the restrictions in Woodlake, please contact the appropriate person below:

**Edward Ballard-Sholly** ([ed@edify.design](mailto:ed@edify.design))

Edify Design, LLC  
1711 Woodcreek Farms Road – Suite C  
Elgin SC 29045  
803-736-1624  
[Edify.Design](http://Edify.Design)

## Fee Schedule

There are fees associated with the various types of plan review in Woodlake. These fees are due upon submittal of plans. Plans will not be accepted without a check for the appropriate review fee. The fees are as follows:

Project Classification	Project Reviewing and Approval	Fee
<b>Awning</b>	ACC	No Fee
<b>Color Scheme Change</b>	ACC	No Fee
<b>Deck/Patio/Pergola/Gazebo</b>	Architect Review & Comment ACC	\$100*
<b>Driveway Modifications</b>	Architect Review & Comment ACC	\$150*
<b>Fence</b>	ACC	No Fee
<b>Gutters</b>	ACC	No Fee
<b>Retaining Walls/ Hardscape Sculptures</b>	Architect Review & Comment ACC	\$150*
<b>Home Addition</b>	Architect Review & Comment ACC	\$200*
<b>Tree removal</b>	ACC	No Fee
<b>Mailboxes</b>	ACC	No Fee
<b>Major Landscaping</b>	ACC	No Fee
<b>New Home Construction</b>	Architect Review & Comment ACC	\$550*
<b>Pool &amp; Pool Deck</b>	Architect Review & Comment ACC	\$150*
<b>Roof Replacement</b>	ACC	No Fee
<b>Satellite Dish</b>	ACC	No Fee
<b>Solar Panels</b>	ACC	No Fee
<b>Well Placement for Irrigation</b>	ACC	No Fee
<b>Window Replacement</b>	ACC**	No Fee**

- \* Make checks payable to "Edify Design, LLC"
- \*\*No fee if replacing windows with exact same style as existing windows – contact ACC if remodeling.

## **Woodlake Construction Package (New Homes and Additions)**

New home construction and additions in Woodlake is subject to strict architectural control. Prior to construction and any disturbance to the lot, the overall plan for construction must be approved by the Architectural Control Committee (ACC). The ACC meets every two weeks, and you will be notified of the results of the meeting. Information needed as well as certain minimum standards are outlined in this package. Plan approval is subject to a licensed builder as stated in the Woodlake Declaration of Covenants, Conditions, and Restrictions.

Listed below are the steps, procedures and contacts for new construction:

1. Builder receives from a representative of the Woodlake Architectural Control Committee, Woodlake management company, or Woodlake Architect the following items:
  - a. Application for Architectural Design Review
  - b. Architectural Control Checklist
  - c. Architectural Standard Details
  - d. Standard Fence Details - Enclosure of a Large Portion of the Back Yard
  - e. Typical Landscaping Minimum Requirements
  - f. Pages from Woodlake Covenants pertaining to new construction

2. Submissions containing the items in the Woodlake Architectural Control Checklist are to be submitted VIA CERTIFIED MAIL-RETURN RECEIPT REQUESTED. ALL ITEMS ON THE WOODLAKE ARCHITECTURAL CHECKLIST MUST BE INCLUDED BEFORE A SUBMISSION WILL BE CONSIDERED FOR APPROVAL. It is highly recommended that you use a qualified architect or draftsman for your plans.

3. Items should be delivered or mailed by certified mail to:

Edify Design, LLC  
1711 Woodcreek Farms Road – Suite C  
Elgin, SC 29045

Upon submission, the ACC will advise of any changes and further steps necessary to proceed.

4. Once submitted plans are complete and acceptable, a letter of approval will be written to the owner. One copy of the submitted plans will be retained by the Woodlake ACC and/or the Woodlake Architect.
5. The owner may notify the builder and construction may begin.
6. Builder must contact the Woodlake Architect, before closing for inspection and final approval (to be noted on Woodlake Architectural Control Checklist).

## Application for Architectural Design Review

Please fill out the following application, and include it in your submission to the Woodlake Architect:

Full Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Home #: (\_\_\_\_)\_\_\_\_-\_\_\_\_ Cell #: (\_\_\_\_)\_\_\_\_-\_\_\_\_

Work #: (\_\_\_\_)\_\_\_\_-\_\_\_\_ Fax #: (\_\_\_\_)\_\_\_\_-\_\_\_\_

Other #: (\_\_\_\_)\_\_\_\_-\_\_\_\_ type: \_\_\_\_\_

Email: \_\_\_\_\_

Property Address: \_\_\_\_\_

Property Lot #: \_\_\_\_\_ Property Section #: \_\_\_\_\_

Builder Name: \_\_\_\_\_ Builder Phone #: (\_\_\_\_)\_\_\_\_-\_\_\_\_

Builder License #: \_\_\_\_\_

Approval Type (check all that apply):

- New Construction       Addition       Fence/Pool Surround  Hardscaping  
 Solar Panel/Green Energy Items

Exterior Colors and Materials (fill out all that apply, samples may be required):

(Please include manufacturer name, and specific type)

Brick: \_\_\_\_\_ Roof: \_\_\_\_\_

Stucco: \_\_\_\_\_ Siding: \_\_\_\_\_

Cornice and Trim: \_\_\_\_\_ Window Sash: \_\_\_\_\_

Other Colors: \_\_\_\_\_

*I agree to follow the Woodlake Design Guidelines, Covenants and Restrictions, and By-Laws.*

*Signature* \_\_\_\_\_

## Architectural Control Checklist

Please follow this checklist when preparing plans to be submitted. Incomplete submissions will not be accepted.

- I.  **Review Fee:** See Fee Schedule.
- II.  **Application for Architectural Design Review:** Fill out and attach to plans.
- III.  **Site Plan (1" = 20'-0" scale):** Plan is to show boundary lines of lot, easements, footprint of house, porches, decks, driveways, walks, and patios. Show front, side, and rear setbacks from structures. Indicate and dimension any required "no-clear" and natural bugger areas and depict any hardwood trees that are 8 inches in caliper and/or 3 feet in height, and any dogwood trees that are 3" in caliper and/or 3 feet in height. Indicate exterior light location and type, location of HVAC units, and trash enclosures, pools, fences, spas, and other recreational equipment.
- IV.  **Floor Plans (1/4" = 1'-0" scale):** Plans are to be dimensioned working drawings for construction and are to include heated and gross square footage. Include wall, window, and door dimensions. Provide door and window schedules for exterior doors and windows.
- V.  **Elevations (1/4" = 1'-0" scale):** Front, rear, and both side elevations depicting exterior design, material designations, roof, pitches, cornice details, column sizes and details, jack arches, window and door surround details, decks, terraces, and railings, and ceiling heights of each floor with appropriate dimensions and notes.
- VI.  **Sections and Details (3/4" = 1'-0" scale):** Sections to show ceiling heights, rafter bearing heights to reflected height shown on submitted elevations, window header heights, elevation details, cornice details, roof jacks and pitch, etc. with appropriate dimensions and notes.
- VII.  **Roof Plan (1/4" = 1'-0" scale):** Plan view of roof plan showing roof pitches, king rafters, valleys, chimneys, crickets, and materials.
- VIII.  **Exterior Color Scheme:** Put this information in the Application for Architectural Design Review.

The Woodlake Architect may require additional details when it deems necessary.

## **Siding**

1. Facade shall be Brick, Stucco, Fiber-cement (James Hardie), or Everlast Composite cladding. Vinyl or aluminum siding is not allowed.

## **Windows and Soffits**

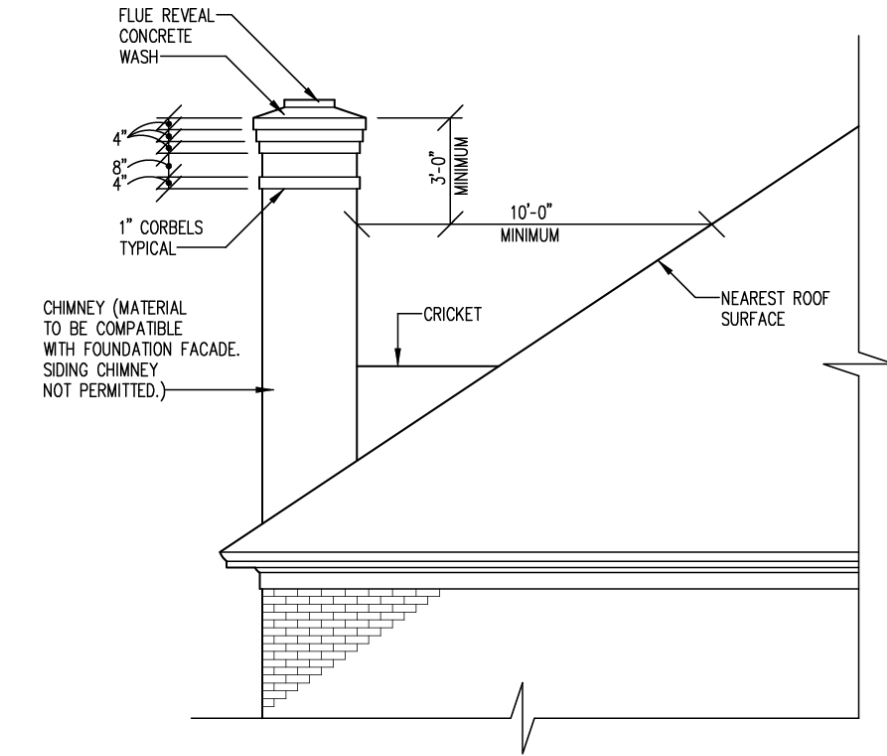
1. For lower maintenance, vinyl clad is approved for replacement or new windows.
2. Fiber cement or composite material may be used for soffits.

## **Landscaping**

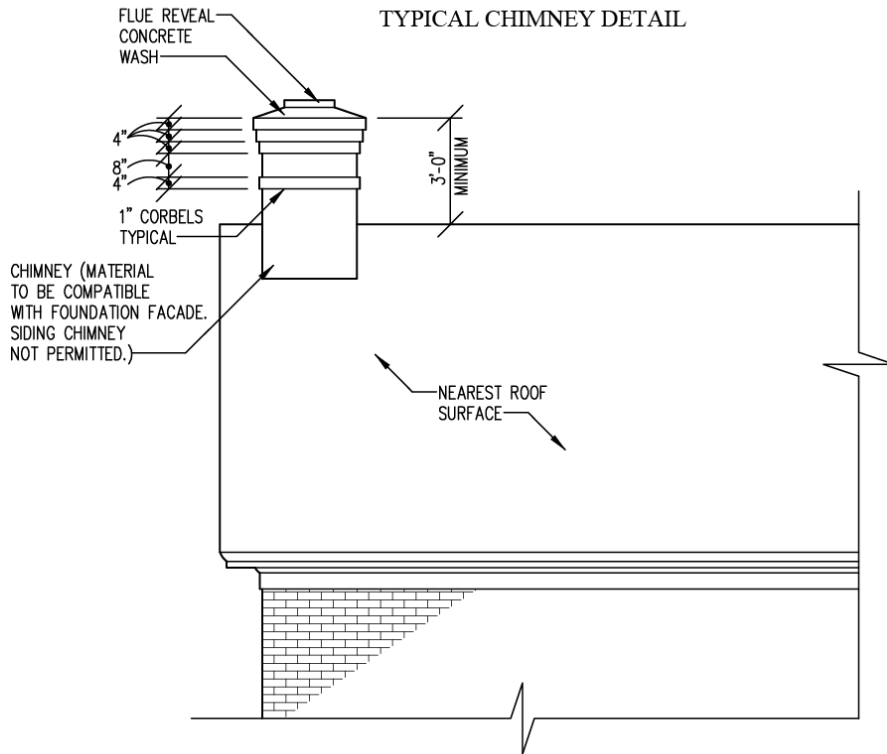
Well maintained landscaping is important to the aesthetics of the neighborhood and to home value. At a minimum, residents are encouraged to properly maintain the landscaping approved by the ACC as part of the initial site plan.



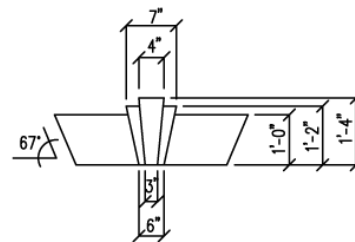
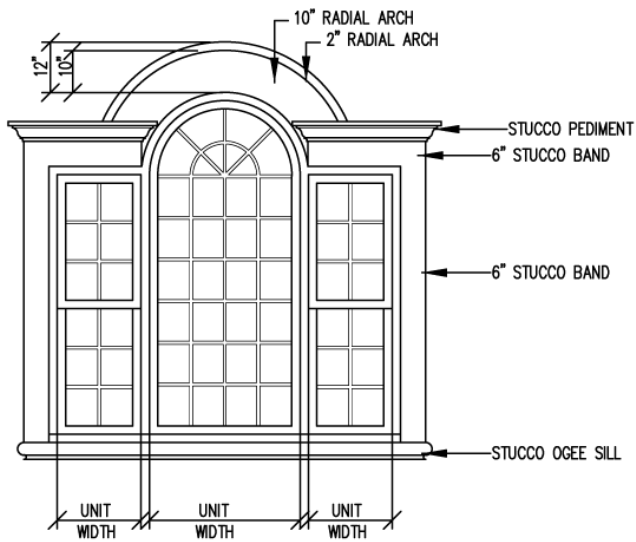
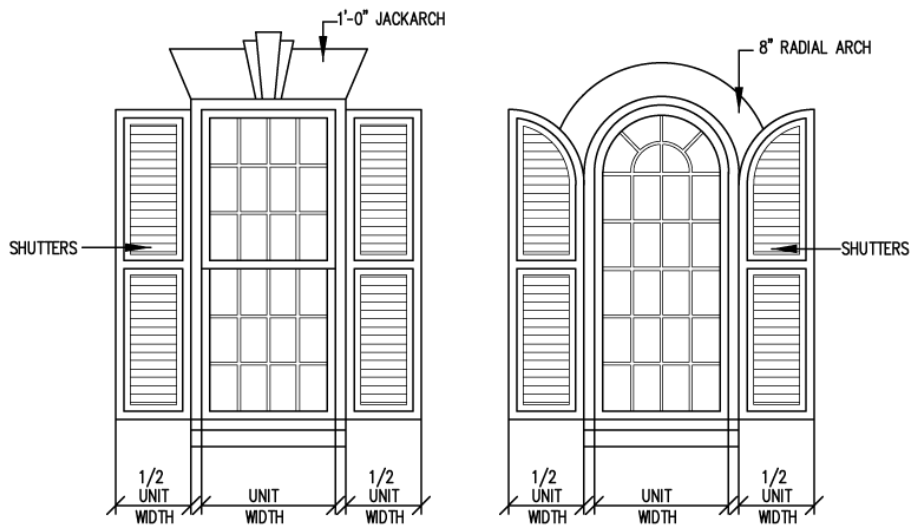
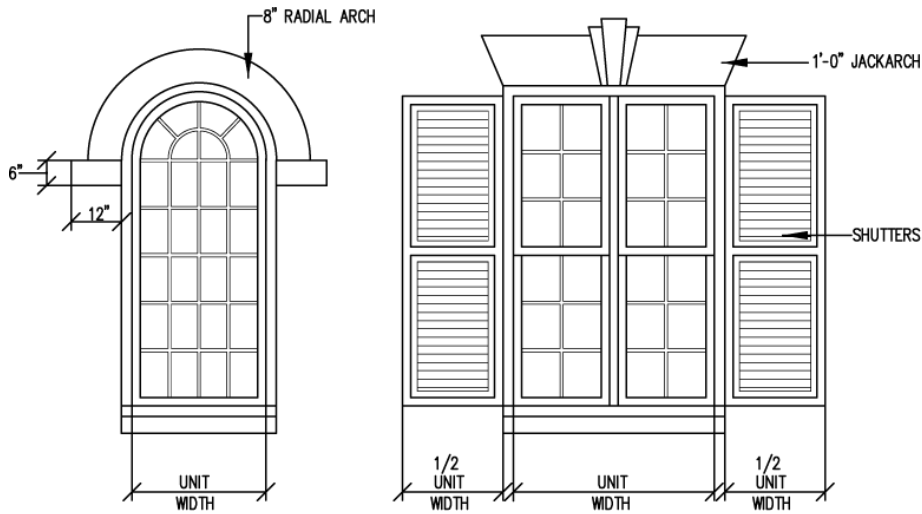
# Architectural Standard Details



TYPICAL CHIMNEY DETAIL



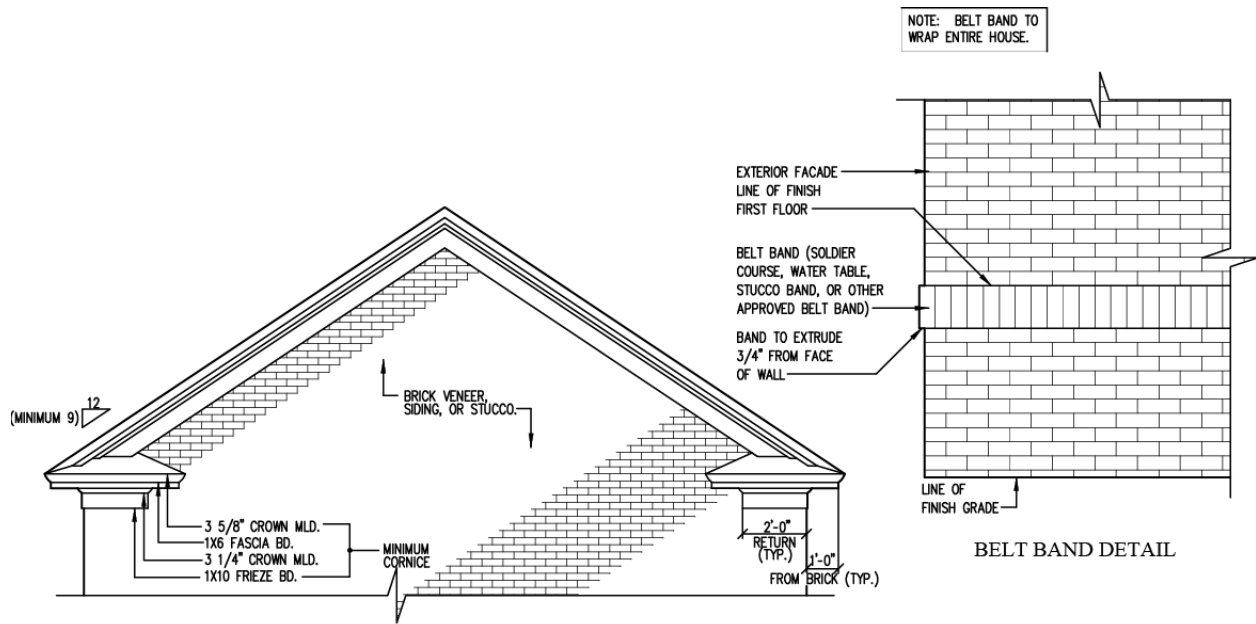
TYPICAL CHIMNEY DETAIL



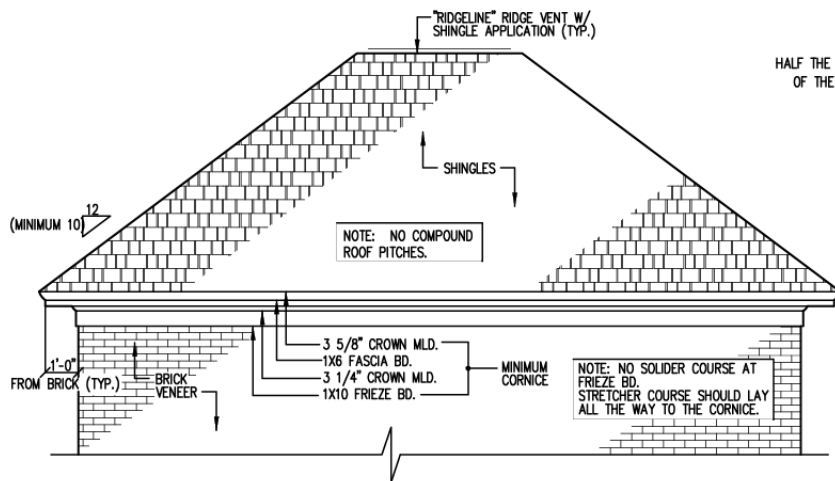
**JACKARCH AND KEY DETAIL**

- NOTES:
1. NO SHUTTERS ON TRIPLE WINDOW UNITS.
  2. IF THE WINDOW HAS STUCCO BANDS DOWN THE SIDE, THE SILL MUST BE STUCCO AS WELL.

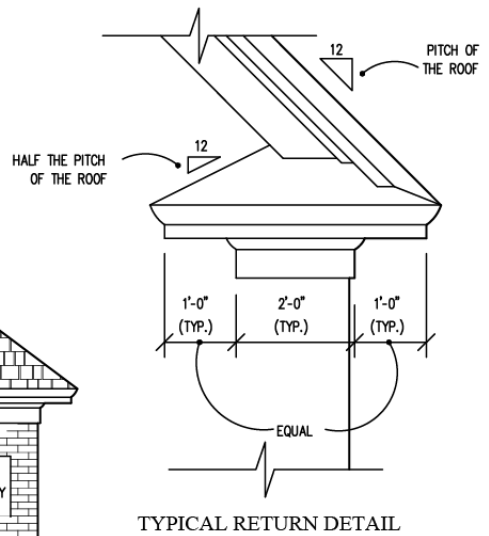
**WINDOW DETAILS**



DETAIL AT GABLE ROOF  
(PITCH, CORNICE, OVERHANG, ETC.)

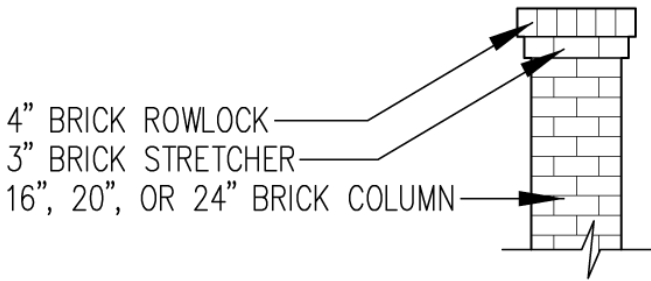
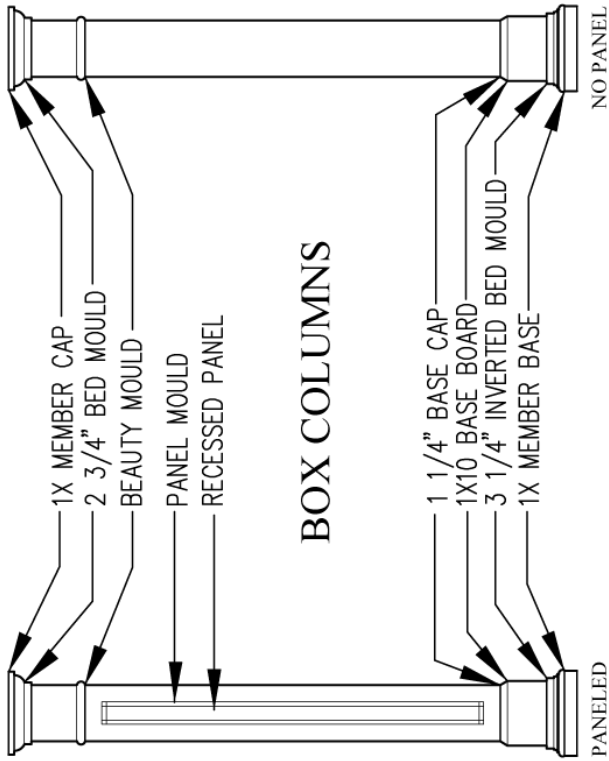
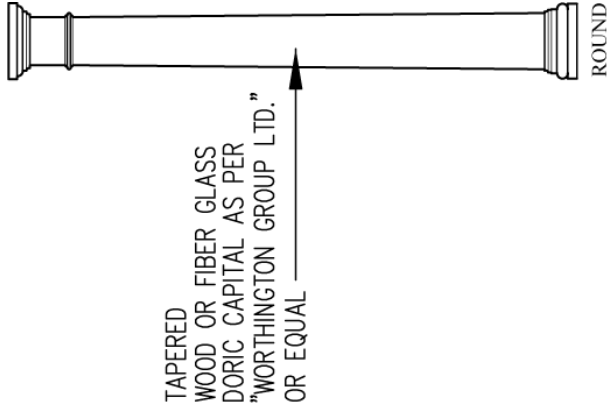


DETAIL AT HIP ROOF  
(PITCH, CORNICE, OVERHANG, ETC.)



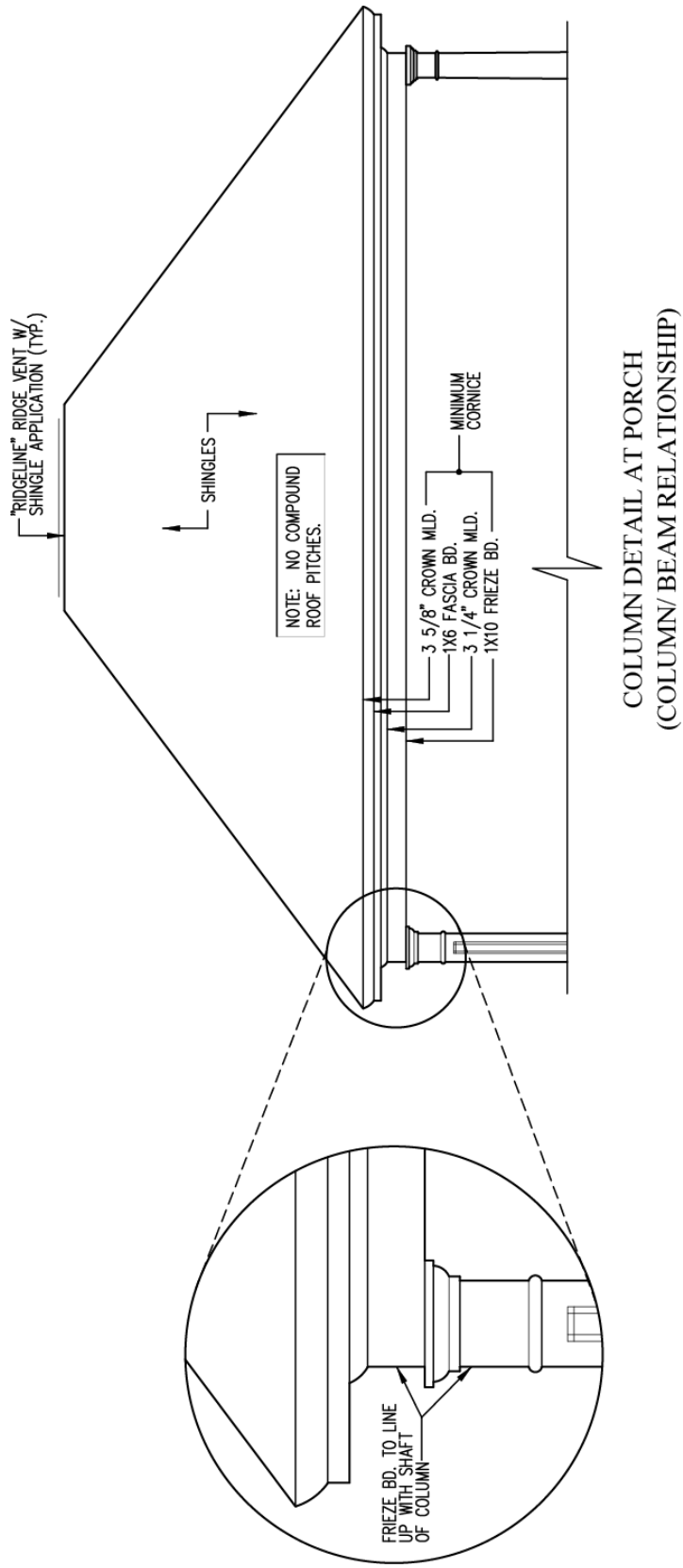
TYPICAL RETURN DETAIL

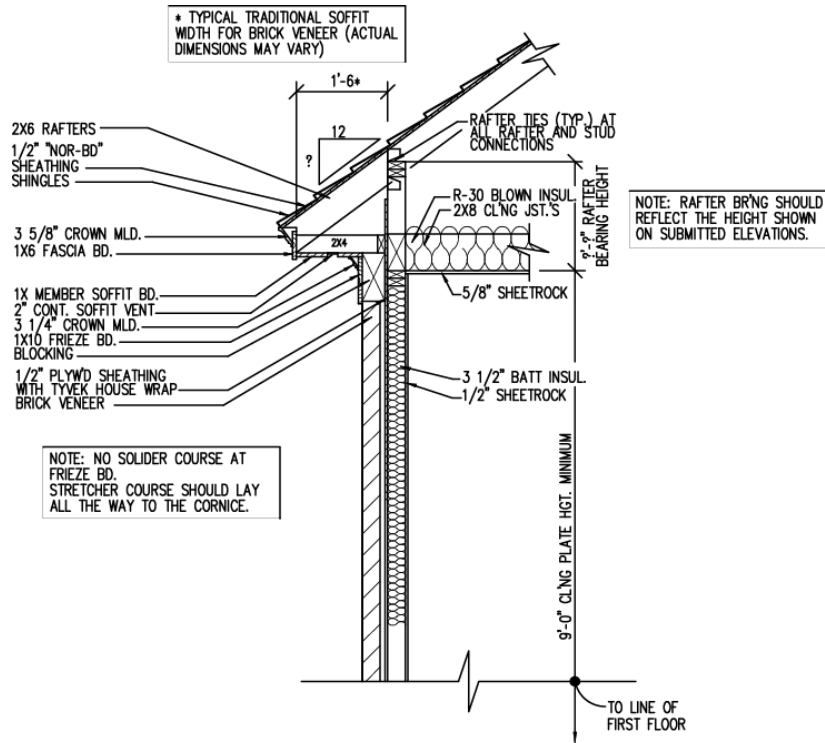
COLUMN DIAMETERS SHOULD BE PROPORTIONAL TO THEIR HEIGHT. THE DIAMETER SHOULD BE SPECIFIED ON THE PLANS. THE ARB SHALL DETERMINE APPROPRIATE DIAMETERS. MINIMUM DIAMETER IS 10".



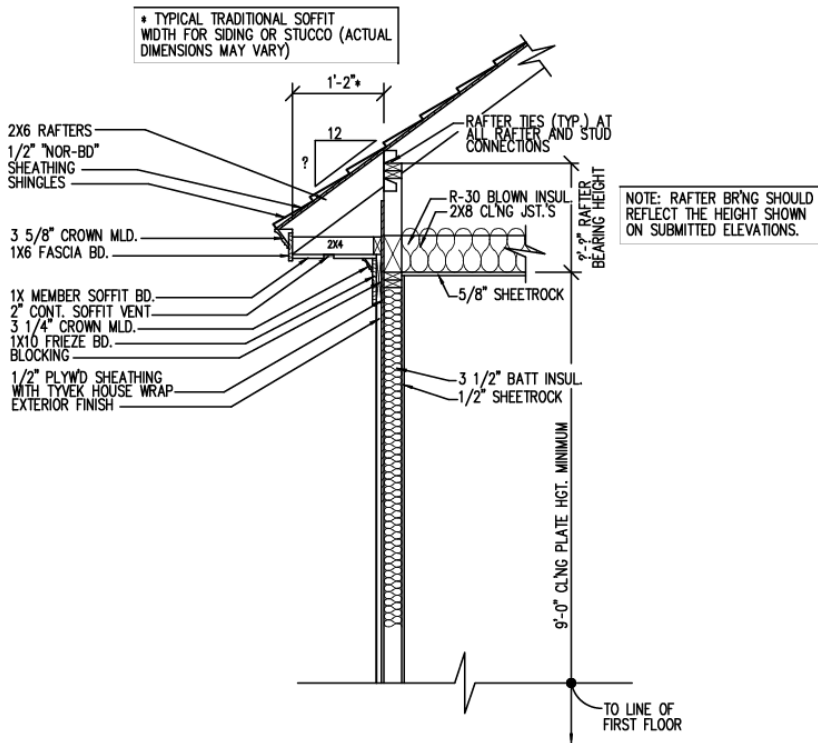
### TYPICAL BRICK COLUMN

## COLUMN DETAILS



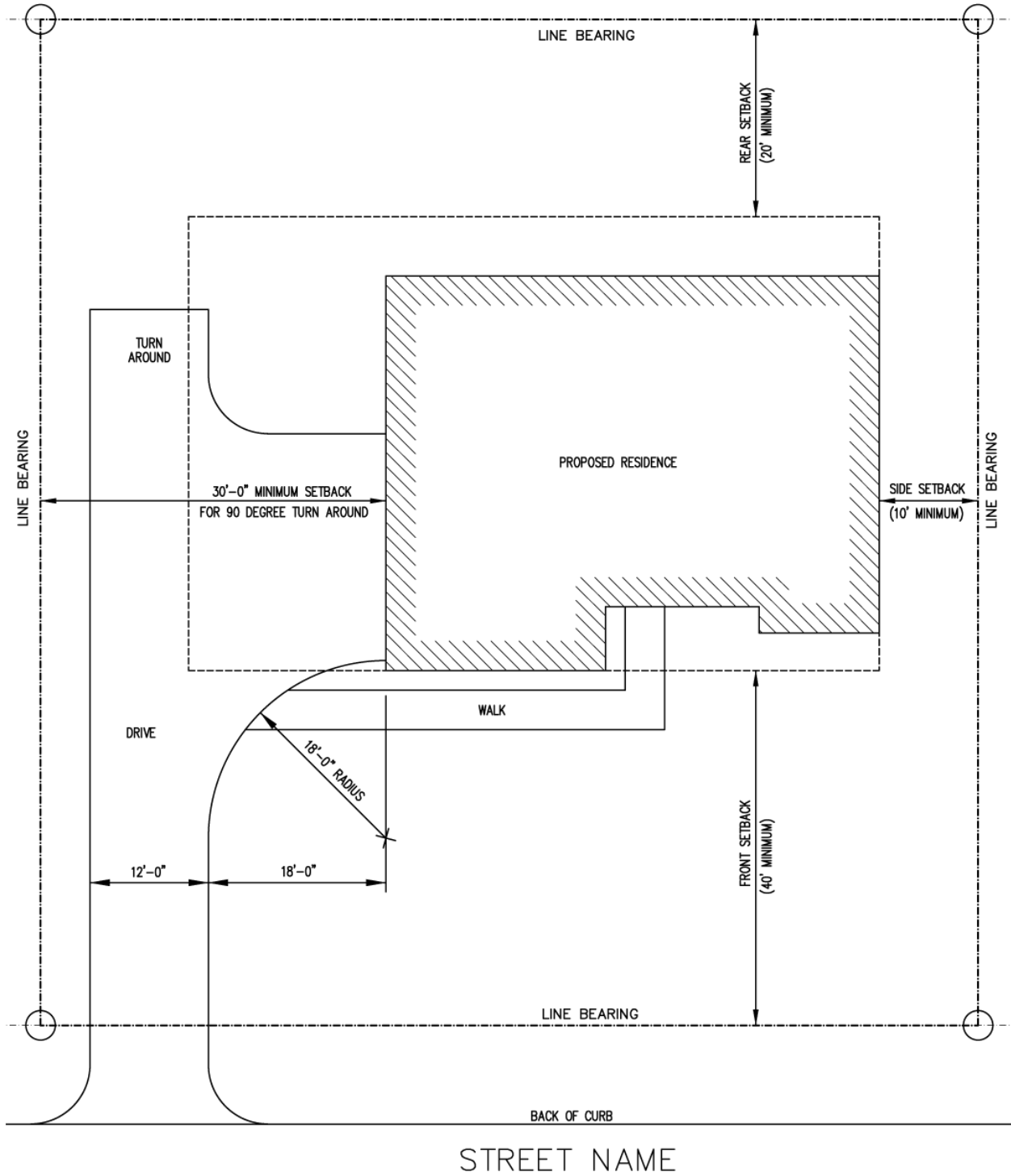


INFORMATION NEEDED ON BRICK WALL SECTION TYPICAL



INFORMATION NEEDED ON STUCCO OR SIDING WALL SECTION TYPICAL

# LOT #



## TYPICAL SITE PLAN

## **Typical Landscaping Minimum Requirements for all Homes (new and existing)**

### **Landscape Criteria – Standard Lot**

- A. 1 Major Hardwood tree (10'-12')
- B. 4 Corner Plantings (3 Gal.) that are 4'-6' Evergreen.
- C. 13 Foundation Plantings (3 Gal.) that are greater than 4' Evergreen
- D. 1 Corner Plant (7 Gal.) that is 8'-10' Evergreen
- E. Mulched areas to conform to the natural setting.
- F. Front yard to be sodded, except at mulched areas.
- G. 3 (3 Gal.) Evergreens to screen A/C unit from street.
- H. Sod shall go to the street in all cases.
- I. Manual/automatic irrigation to cover sodded areas but stub out for future expansion.
- J. New homes must have an ACC-approved Landscape plan and complete installation prior to moving in.
  - Sodded areas should entail  $\frac{3}{4}$  of the front yard with pine straw using the remainder  $\frac{1}{4}$ .
  - Plantings are dependent upon architectural and topographical features.
  - Landscape contractor will make adjustments.
  - Final grade by builder's grading contractor.

Well-maintained landscaping is important to the aesthetics of the neighborhood and to home value. At a minimum, residents are encouraged to properly maintain the landscaping approved by the ACC as part of the initial site plan.

## **Fences, satellite dishes, solar panels, siding, and windows for Woodlake Subdivision.**

### **Woodlake Fence Requirements (Enclosing of an entire yard)**

Note: There are many attractive fences in the neighborhood. There is also a wide variation in the types of fences. The previous developer may have approved some of these fences prior to the current guidelines. Our goal is to maintain the property values and curb appeal of the neighborhood as a whole. When a neighborhood has a large variation in style, material, height, and color of fencing, it can be a detriment to the appearance of the entire neighborhood, even if each fence looks good with the house it is surrounding.

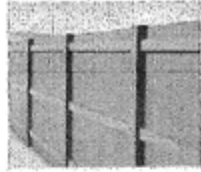
1. Homeowners with an existing fence "grandfathered" prior to the 2001 Guideline change will not be required to replace their fence, however, acceptance of this fence is void if the fence needs repair or to be replaced. In that case, the fence will have to conform to the current guidelines.
2. Vinyl fencing or picket fences are prohibited in Woodlake.



3. ALL fences, even those styles pre-approved, must be submitted to the ACC for approval before construction. If you are attaching a fence to an adjoining neighbor's property you must have their signature of approval to do so.
4. A plat denoting the placement of the fence and the style of fence chosen shall be submitted to the architectural control committee for approval. Columns, gates, a description of the materials to be used, and the style of fence chosen must also be submitted with the plat drawings.
5. See the attached drawings of fence designs that have been pre-approved for Woodlake. The owner is to select only one style of the fences shown.
6. All wood fencing is to be treated wood, is to present the "finished" side to the street and neighbors, and is to be unpainted, stained, or natural. If the fence is stained it must be earth-tone in color. A sample of the color must be submitted with the application for ACC approval.
7. 16"x16" minimum columns with two or three corbels shall be positioned on each corner of the lot. The columns must match the house foundation (brick, stone, or stucco) and must also be placed on both sides of any gate facing the street. Gates must be of an acceptable similar fence design and of an approved material.
8. Landscaping will be required on the exterior portion of the fence when visible from the street or lake.
9. The owner accepts all responsibility for the maintenance of the fence and landscaping.
10. Plans for pool surrounds shall be submitted to the Architectural Control Committee for approval and will be approved on a case-by-case basis.
11. Wrought iron, steel or aluminum fencing is allowed based on the following fence drawings. All must be black or painted black.
12. Alternative material providing a "wood-like appearance", such as the Enduris Endwood or Fiberon privacy fencing will be considered on an individual basis. These products are engineered to withstand the sun, wind, rain, and snow and are not vinyl fences. The appearance of these fences meets the currently approved wood fence design while offering increased longevity and lower maintenance. See the photos of the approved designs attached. Any other "new technology" fence must be similar to these types of fences and approved by the ACC. They must have a "wood-grain" finish, earth-tone natural wood color, and vertical pickets (dogeared or straight).

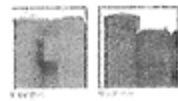
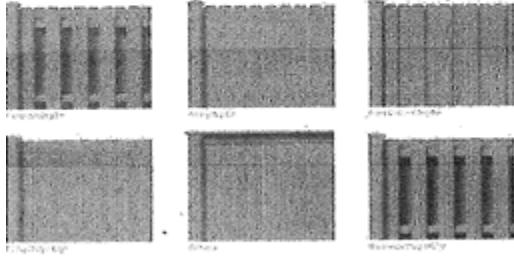
Examples of alternative fencing material:

Choose the style and color that complement



Endwood® Fencing is a component system that can be configured in a variety of styles and designs to fit almost any application. The materials available are smooth pickets, split, and oval, and various textures including Endwood. Endwood can be configured in a variety of textures, including smooth, split, and oval. Endwood can be configured in a variety of colors, including Smooth, Split, and Oval. Endwood can be configured in a variety of textures, including Endwood. Endwood can be configured in a variety of colors, including Smooth, Split, and Oval. Endwood can be configured in a variety of textures, including Endwood. Endwood can be configured in a variety of colors, including Smooth, Split, and Oval.

Regular Fence Styles to Consider



Endwood's unique picket options allow flexibility for your fence design. Picket Post Options all pickets are available in either smooth or oval pickets. Endwood pickets are available in 4' x 4' Post Options and 6' x 6' Post Options. Endwood pickets are available in 4' x 4' Post Options and 6' x 6' Post Options.

**fiberon® PRIVACY FENCING**

**Fiberon® Privacy Fencing**

- 6-ft privacy fencing system with Dogear or Square Top pickets and customizable privacy design
- Never needs painting or staining
- Long lasting resistance to decay and insect damage
- Adjustable Steel Gate Frame Systems available

**Basic Picket Layout Privacy Options**

**Dogear Pickets**

**Traditional** (semi-pointed pickets)  
Only works for 2-Panel Gate

**Square Top Pickets**

**Shadow Box** (allows shadow pickets to be installed between pickets)

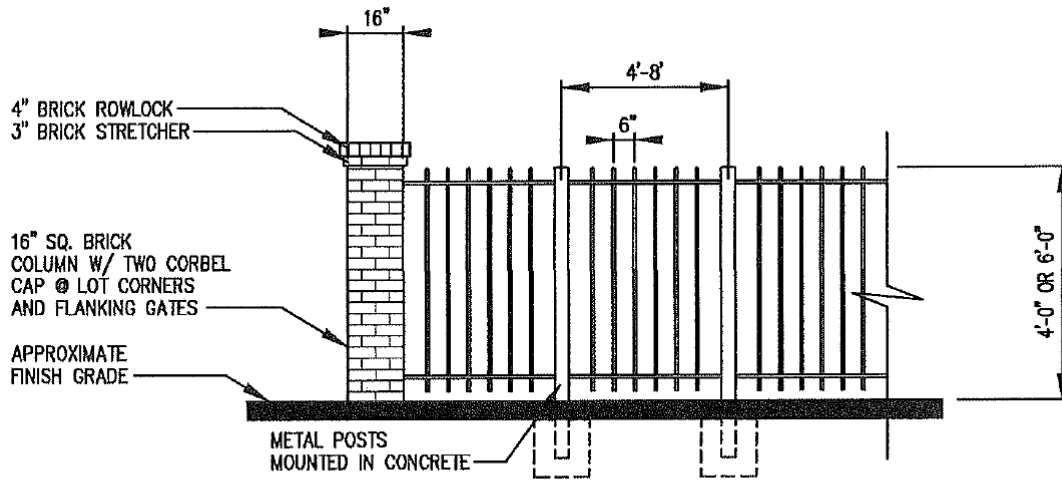
**Steel Gate Frame System**

**Endwood**

© 2022 Fiberon, LLC. All rights reserved.  
Fiberon is a registered trademark of Fiberon LLC.  
The Steel Gate System is designed for setting away from the picketed side of the fence and should be installed on that side.

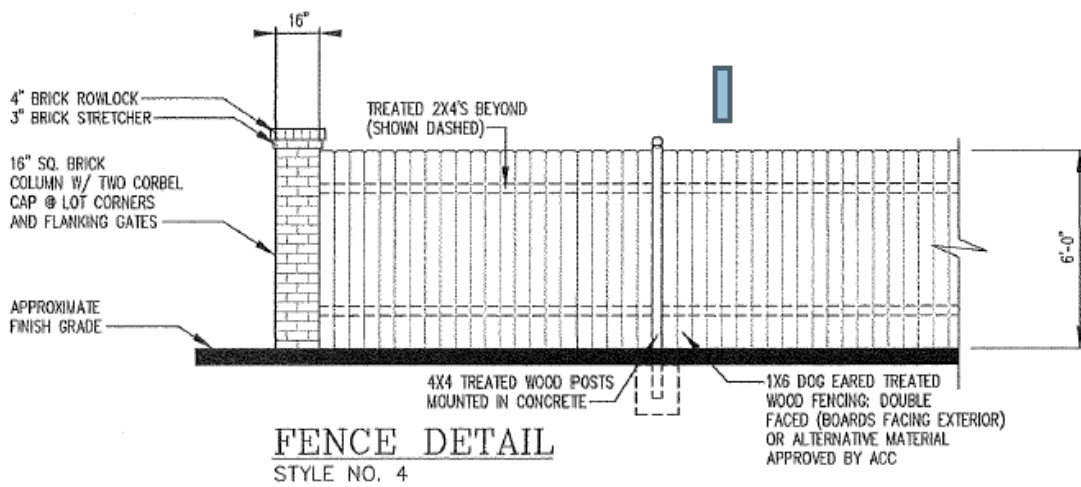
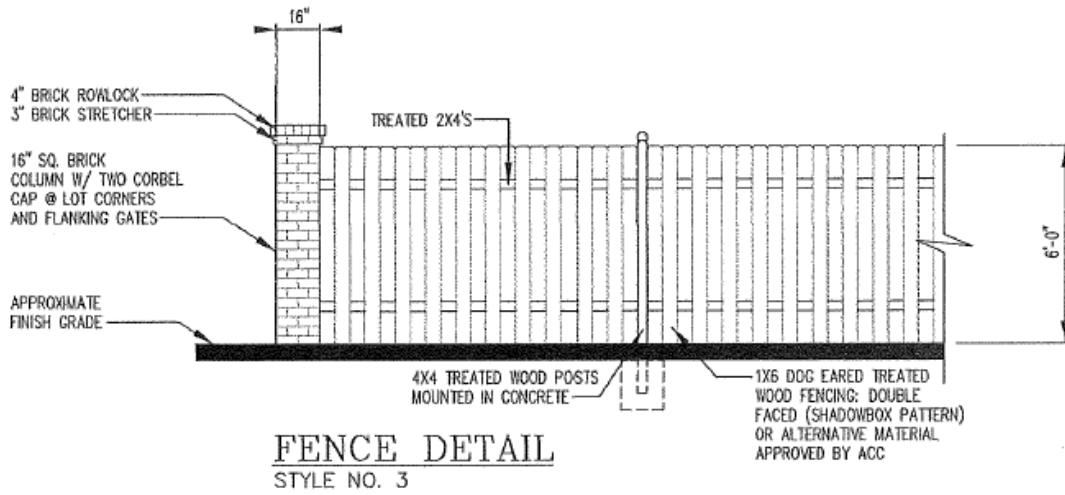
Fiberon LLC, 12345 Main St, Anytown, USA 12345  
www.fiberon.com

Acceptable Fence Designs for metal gates



FENCE DETAIL  
STYLE NO. 1

## Acceptable Wooden Privacy Fences



### **Pool Surround Fences**

1. All pool fencing must comply with Richland County Code requirements.
2. Chain link or picket fences are not allowed.
3. A plat denoting the placement of the fence shall be submitted to the ACC for approval.
4. Height of the fence must be a minimum of 4'-6" and a maximum of 6'.
5. Metal fences to be black in color.
6. Posts a maximum of 8' apart must be embedded in concrete.

### **Other requirements (Satellite Dishes, House Siding, Solar Panels)**

1. Satellite Dish Antenna. All satellite dishes should be mounted so that they are not visible from the front street if possible.
2. Siding. The facade shall be Brick, Stucco, Fiber-cement (James Hardie), or Everlast Composite cladding. Vinyl or aluminum siding is not allowed.
3. Solar Panels. Solar panels must be placed on the backside of homes and shielded from view from the street and from other lots to the maximum extent possible. When submitting the ACC Major Review Form, the homeowner will be required to submit a plat with the actual footprint of the house, and include the proposed positioning of the solar panels. The plat should be a scaled drawing of the home, showing the roofline and position of the road(s) and adjoining lots.

If any trees will need to be removed as a result of installation, that change to landscape will need a separate Minor ACC Review form

Any solar panel installation, whether purchased or leased, must have prior approval in writing by the ACC.

4. Windows. For lower maintenance, vinyl clad is approved for replacement or new windows.